

PARIS BUSINESS CENTER



Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361
404.259.3940 (TEL)

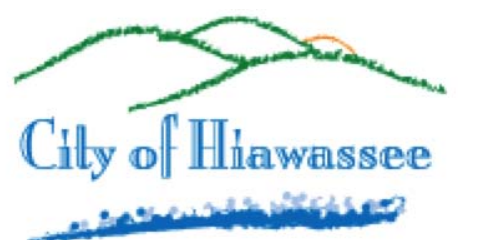
STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

MEP
SUBSCRIPTION ENGINEERING
yjjustice@subscriptionengineering.com
(678)895-6094 (TEL)

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

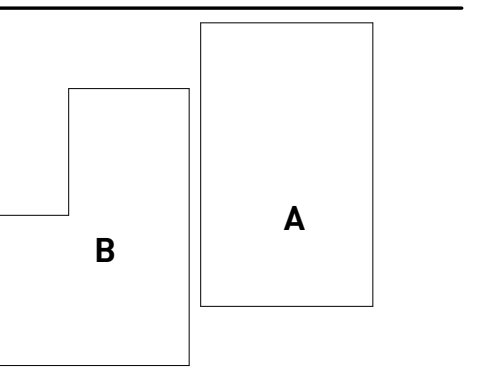
PROJECT

PARIS BUSINESS CENTER
71 & 79 MAIN ST
HIAWASSEE, GA 30546



CITY OF HIAWASSEE
50 RIVER STREET
HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn		RDR
Checked		ALP

TITLE

TITLE SHEET

SHEET NUMBER

G-0.0

DRAWING LOG

SHT#	DESCRIPTION	SCHEMATIC DESIGN 10/30/2020
01 - GENERAL		
G-0.0	TITLE SHEET	•
02 - SITE		
A-1.0 (S)	ARCHITECTURAL SITE PLAN	•
A-1.1 (S)	3D AXONS - FRONT VIEWS	•
A-1.2 (S)	3D AXONS - REAR VIEWS	•
A-1.3 (S)	SECTION AXONS	•
03 - BUILDING A		
A-2.1 (A)	FLOOR PLAN	•
A-3.1 (A)	ELEVATIONS	•
A-3.2 (A)	ELEVATIO NS	•
D-2.1 (A)	DEMO FLOOR PLAN	•
04 - BUILDING B		
A-2.1 (B)	FLOOR PLAN	•
A-3.1 (B)	ELEVATIONS	•
D-2.1 (B)	DEMO FLOOR PLAN	•

PROJECT DIRECTORY

ARCHITECT
SOURCE URBANISM, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361
404.259.3940 (TEL)

CONTACT: Paul Flippo, PE

STRUCTURAL STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

CONTACT: Chris Murphy, PE

MEP SUBSCRIPTION ENGINEERING
yjjustice@subscriptionengineering.com
(678)895-6094 (TEL)

CONTACT: L. Yancey Justice, P.E.

OWNER
CITY OF HIAWASSEE

50 River Street Hiwassee, GA 30546
(706) 896-2202 (TEL)

CONTACT: Denise McKay

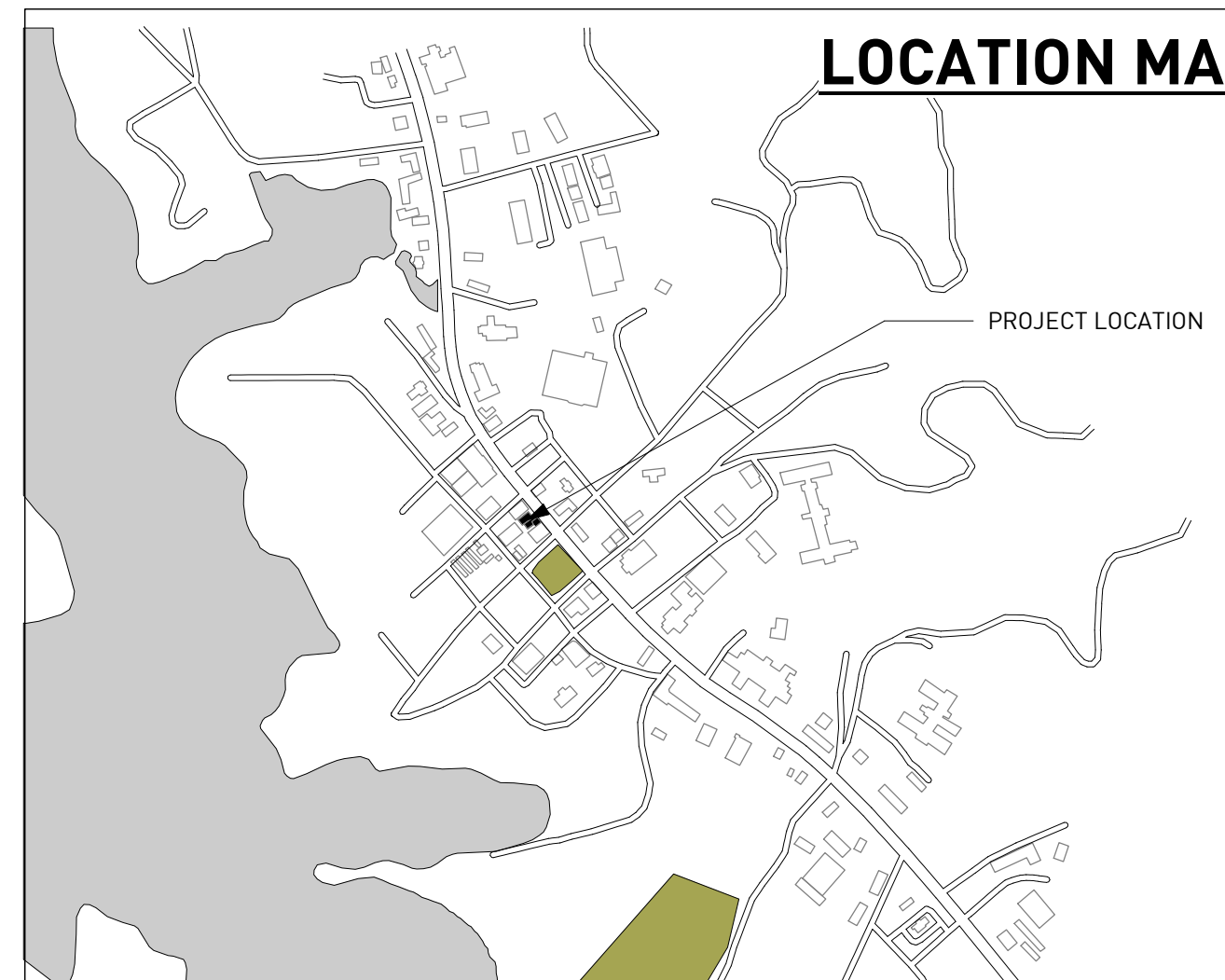
CONTRACTOR

CONTACT: L. Yancey Justice, P.E.

PROJECT INFORMATION

BUILDING:	INTERNATIONAL BUILDING CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
FIRE:	INTERNATIONAL FIRE CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
PLUMBING:	INTERNATIONAL PLUMBING CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
MECHANICAL:	INTERNATIONAL MECHANICAL CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
GAS:	INTERNATIONAL FUEL GAS CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
ELECTRICAL:	NATIONAL ELECTRICAL CODE, 2017 EDITION W/ NO GEORGIA AMENDMENTS (2020)
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
LIFE SAFETY:	NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 LIFE SAFETY CODE, 2018 EDITION WITH GEORGIA AMENDMENTS (2020)
ACCESSIBILITY:	2010 GEORGIA ACCESSIBILITY CODE 120-3-20
EXISTING BUILDING:	2012 INTERNATIONAL EXISTING BUILDING CODE

LOCATION MAP



SYMBOL LEGEND

	ELEVATION MARK		COLUMN NUMBER AND LINE
	WALL SECTION MARK		ROOM INFORMATION
	DETAIL MARK		DOOR TAG
	INTERIOR ELEVATION MARK		WINDOW TAG
	LEVEL ELEVATION MARK		PARTITION TYPE
			TAG FOR KEYNOTE
			REVISION NUMBER
			REVISION MARK

GENERAL NOTES

- Construction shall conform to the requirements of all governing federal, state, and local codes. In addition to complying with current enforced ANSI guidelines, this project must also comply with the Americans with Disabilities Act (ADA).
- All materials, hardware and fixtures will be U.L. listed.
- The drawings illustrate general workscope requirements and do not elaborate on installation techniques. All work performed shall meet or exceed industry standards, be performed in accordance with manufacturer's recommendations, and shall conform to all provisions of state, county and city codes, building laws, ordinance rules and regulations.
- Contractor shall obtain and pay for building permits.
- Coordinate exact locations of conduit, ductwork, mechanical and electrical devices, and light fixtures with the Architect in the field.
- All dimensions shown on the drawings shall be considered critical. It shall be the responsibility of the contractor to notify the Architect of any deviation in the placement of work prior to installation.
- Drawings are furnished to show design intent for construction only and do not show every condition or aspect of construction. Contractor to inform the architect of any discrepancies prior to proceeding with any work. Do not scale drawings. Dimensions govern.
- Contractor to remove existing soils to allow for new construction.
- Debris resulting from the construction shall be removed entirely from the construction site on a daily basis to a waste area provided by the contractor.
- All work shall be done in a workmanlike manner and in accordance with accepted construction standards. All walls, ceilings, and other assemblies to be plumb, true, and square, unless otherwise noted.
- Mechanical, electrical and plumbing scope, fixtures and locations will generally be noted on the drawings. The contractor is responsible for providing permit drawings and obtaining all MEP permits.
- Double studs construction to be used at all cased and door openings.
- Outlets and utilities indicated on plan are minimum requirements. Additional telephones or outlets may be required by code. General Contractor to verify all locations in field.
- All floor and wall penetrations in rated assemblies shall be sealed with approved, current firestop assemblies appropriate for the rated wall assembly.
- Contractor is responsible for soil testing. Contractor is responsible for any required testing of material and assemblies installed by contractor.
- All assemblies, material to meet current Georgia Energy Code requirements.
- Interior finishes, materials, and furnishings shall comply with and meet the smoke and fire rating requirements of all state and local codes. In particular, all interior finishes shall meet requirements set forth in the International Building Code.
- Final clean-up of building and site shall be the responsibility of the general contractor. Building and site shall be turned over in a clean and new condition.
- Provide portable fire extinguishers in accordance with NFPA 10.
- All lumber in contact with concrete slabs, exterior masonry walls, or in conjunction with concrete slabs, exterior masonry walls, or in conjunction with gravel stops or roofing shall be preservative treated in accord with AWPAC 1-77 and AWPALP-22, CCA, Type A, non-leaching type preservative.
- The design of this project to the best of our professional knowledge, information and belief complies with applicable provisions of the Americans with Disabilities Act (ADA), ANSI standard A117.1-1986, and the Georgia accessibility code requirements as they apply to this project. Because the requirements of the ADA are subject to various and possibly contradictory interpretations, we cannot and do not guarantee that this project will comply with interpretations of ADA requirements as they apply to this project.
- The contractor shall provide a warranty for correction of the work of this project for the period of one year after substantial completion or as otherwise stipulated in the contract documents.
- The architect is not responsible for changes made or authorized by the owner, owner's representatives, tenants, contractor or others without written consent by the architect or consultant.
- The contractor shall be responsible for coordination of structural, mechanical, electrical, and plumbing work with the architectural drawings. All discrepancies in the documents shall be reported to the architect for resolution of any conflicts with any design elements before the work is done.
- The contractor shall field verify construction tolerances and take field measurements of any existing conditions related to the work of this project. Conditions encountered at the site materially different from those indicated in the contract document shall be promptly reported to the architect or owner's representative before the conditions are disturbed.
- The contractor shall be responsible for all cutting, patching and fitting necessary to achieve the scope of the work.
- Existing utilities or other mechanical, electrical, or plumbing equipment requiring removal, capping, termination, and/or relocation shall be included in the overall scope and performance of the project by the contractor.
- All substrate surfaces are to be prepared to receive finish materials per manufacturer's product literature and written instructions for installation, or application. Fill voids in round columns prior to applying finish materials.
- The contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone/data, electrical, lighting and plumbing equipment (to include all piping, ductwork, and conduit) and that all required clearance for installation or maintenance or above equipment is provided.
- The contractor shall provide and install equipment and appliances specified unless otherwise noted. The contractor shall verify all plumbing and electrical requirements related to equipment and appliances in the scope of work.
- SOURCE URBANISM will be providing Construction Administration services only when requested by owner or contractor.
- SOURCE URBANISM, the Architect of Record, is not responsible for interpreting the intent of the construction documents, including making modifications as may be necessary during the construction phase. The Architect of Record is no longer liable for the work where changes to these documents have been made.
- All 3d views including perspectives, axons and aerials are for reference only, see plans, elevations, sections and details for construction
- Notes appear on various drawings for different systems and materials. Review all sheets and apply notes to related building components.
- Refer to complete set of issued contract documents for other applicable notes, abbreviations, and symbols.



Source Urbanism, LLC
 P.O. Box 1154,
 Stone Mountain, Georgia 30086
 T. 770 330 8325
 audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
 FLIPPO CIVIL DESIGN
 400 Colony Square Atlanta, GA 30361

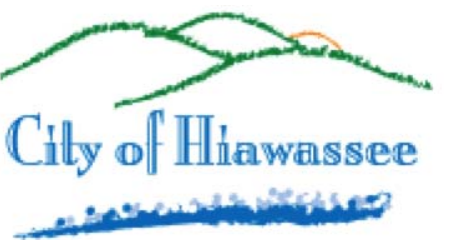
STRUCTURAL
 STABILITY ENGINEERING
 431 W PONCE DE LEON AVE, SUITE 4
 DECATUR, GA 30030
 (678)895-6094

MEP
 SUBSCRIPTION ENGINEERING
 justice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

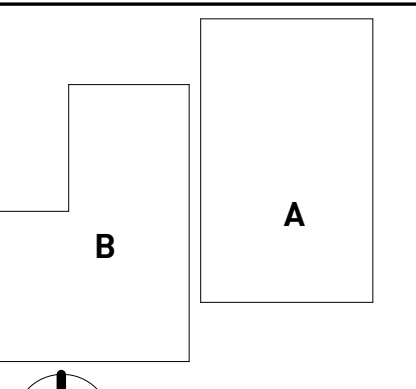
PROJECT

PARIS BUSINESS CENTER
 71 & 79 MAIN ST
 HIAWASSEE, GA 30546



CITY OF HIAWASSEE
 50 RIVER STREET
 HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

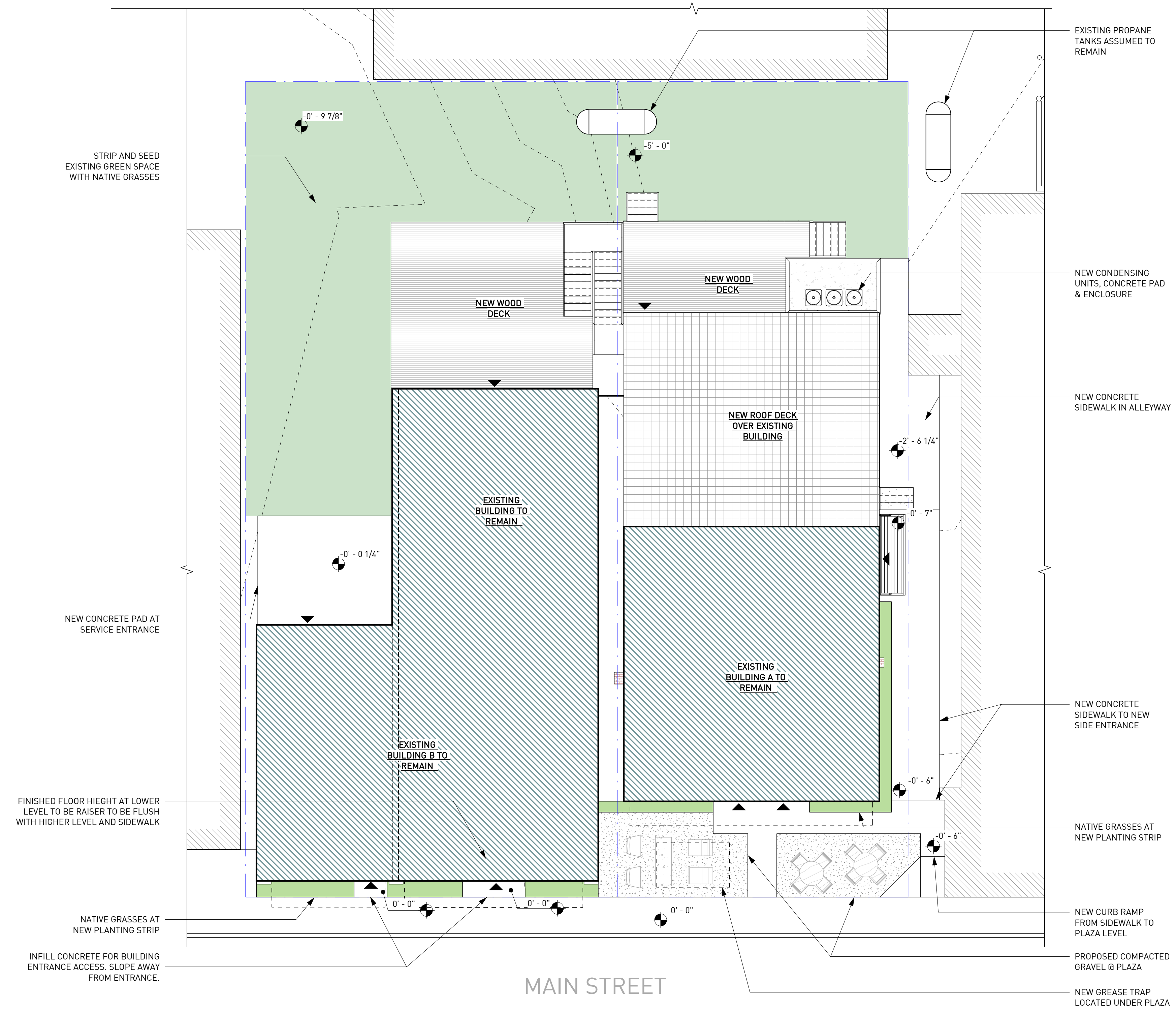
MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn	ALP	
Checked	RDR	

TITLE

ARCHITECTURAL SITE PLAN

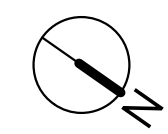
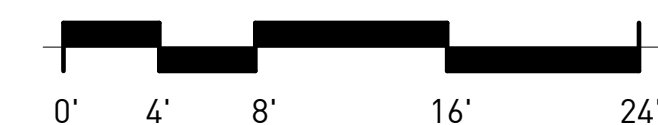
SHEET NUMBER

A-1.0 (S)



MAIN STREET

1 SITE PLAN
 A-1.0 (S) 1/8" = 1'-0"





Source Urbanism, LLC
 P.O. Box 1154,
 Stone Mountain, Georgia 30086
 T. 770 330 8325
 audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
 FLIPPO CIVIL DESIGN
 400 Colony Square Atlanta, GA 30361

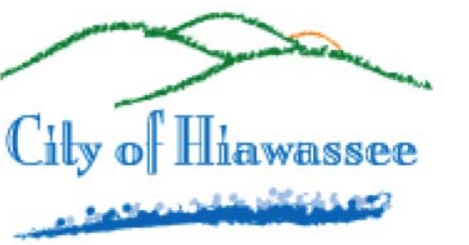
STRUCTURAL
 STABILITY ENGINEERING
 431 W PONCE DE LEON AVE, SUITE 4
 DECATUR, GA 30030
 (678)895-6094

MEP
 SUBSCRIPTION ENGINEERING
 justice@subscriptionengineering.com

NOTE: DOCUMENTS ARE
 INCOMPLETE AND MAY NOT
 BE USED FOR REGULATORY
 APPROVAL, PERMITTING, OR
 CONSTRUCTION PURPOSES.

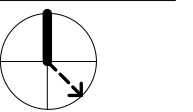
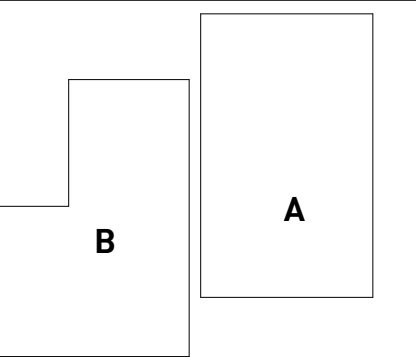
PROJECT

PARIS BUSINESS CENTER
 71 & 79 MAIN ST
 HIAWASSEE, GA 30546



CITY OF HIAWASSEE
 50 RIVER STREET
 HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn		RDR
Checked		ALP

TITLE

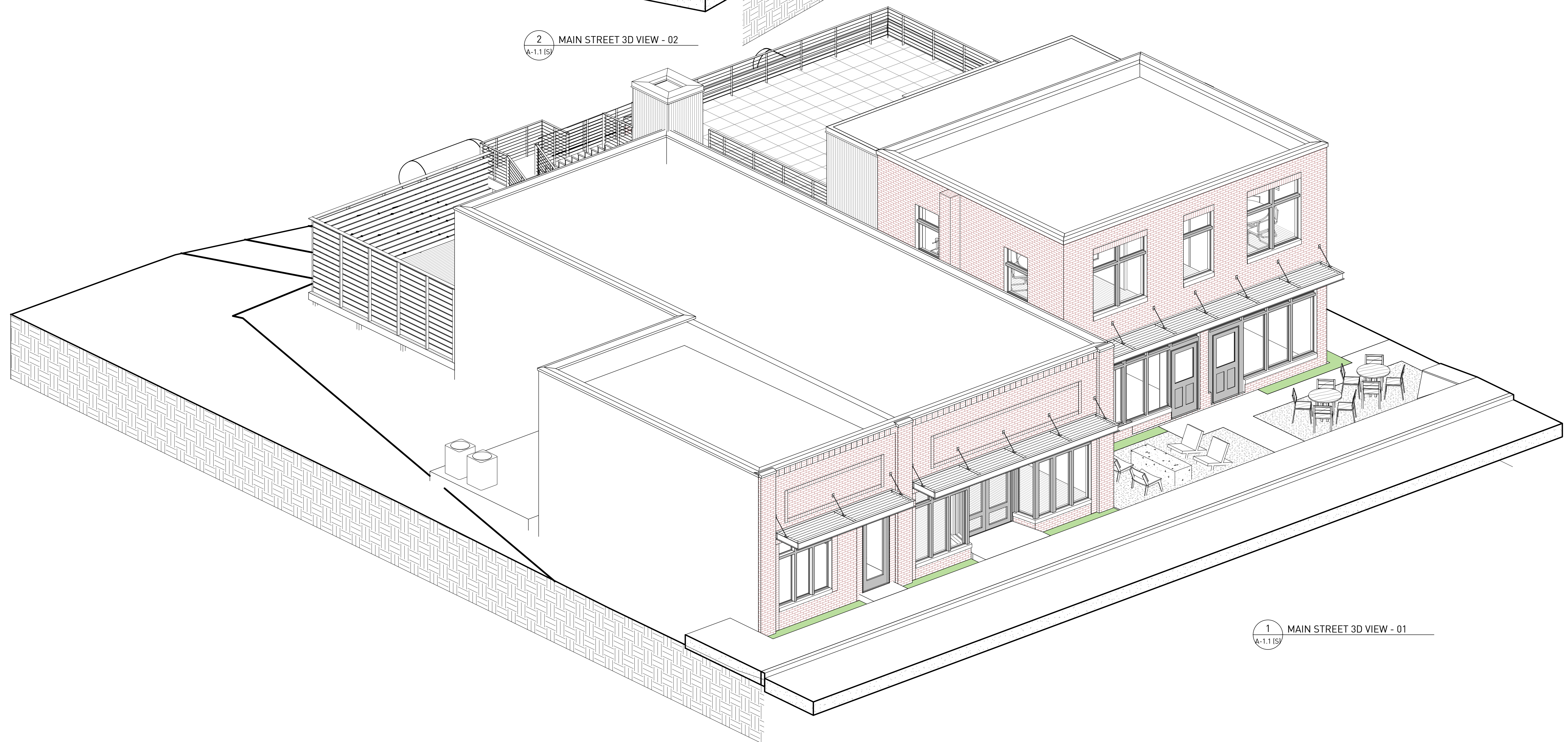
3D AXONS - FRONT VIEWS

SHEET NUMBER

A-1.1 (S)



2 MAIN STREET 3D VIEW - 02
 A-1.1 (S)



1 MAIN STREET 3D VIEW - 01
 A-1.1 (S)



Source Urbanism, LLC
 P.O. Box 1154,
 Stone Mountain, Georgia 30086
 T. 770 330 8325
 audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
 FLIPPO CIVIL DESIGN
 400 Colony Square Atlanta, GA 30361

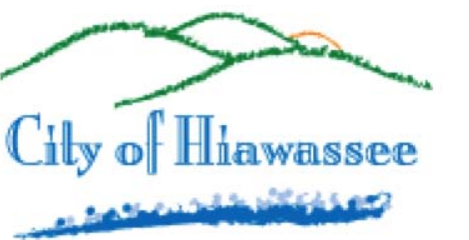
STRUCTURAL
 STABILITY ENGINEERING
 431 W PONCE DE LEON AVE, SUITE 4
 DECATUR, GA 30030
 (678)895-6094

MEP
 SUBSCRIPTION ENGINEERING
 justice@subscriptionengineering.com

NOTE: DOCUMENTS ARE
 INCOMPLETE AND MAY NOT
 BE USED FOR REGULATORY
 APPROVAL, PERMITTING, OR
 CONSTRUCTION PURPOSES.

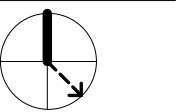
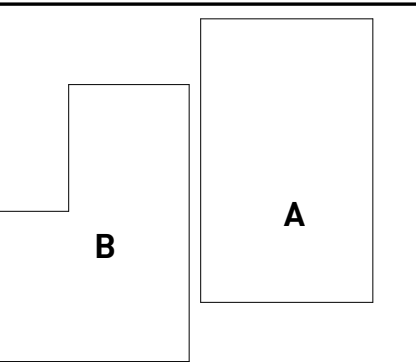
PROJECT

PARIS BUSINESS CENTER
 71 & 79 MAIN ST
 HIAWASSEE, GA 30546



CITY OF HIAWASSEE
 50 RIVER STREET
 HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

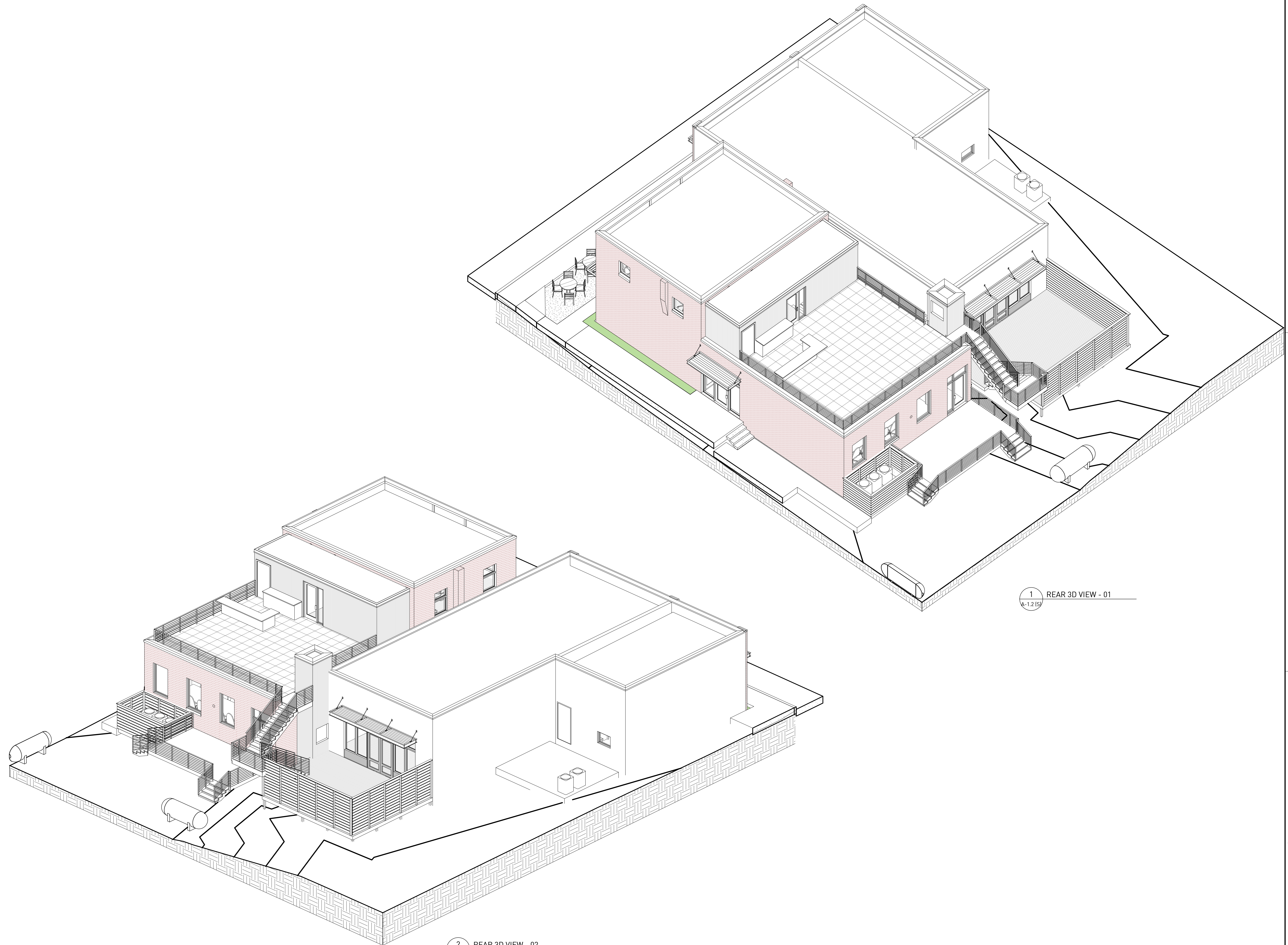
MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn		ALP
Checked		RDR

TITLE

3D AXONS - REAR VIEWS

SHEET NUMBER

A-1.2 (S)



1 REAR 3D VIEW - 01
 A-1.2 (S)

2 REAR 3D VIEW - 02
 A-1.2 (S)

11/5/2020 12:41:02 P:\BIM 360\1100.2020.12_Paris Plaza Hiwassee\HIAWASSEE_SITE_MODEL.rvt



Source Urbanism, LLC
 P.O. Box 1154,
 Stone Mountain, Georgia 30086
 T. 770 330 8325
 audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
 FLIPPO CIVIL DESIGN
 400 Colony Square Atlanta, GA 30361

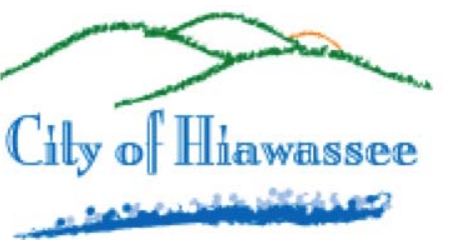
STRUCTURAL
 STABILITY ENGINEERING
 431 W PONCE DE LEON AVE, SUITE 4
 DECATUR, GA 30030
 (678)895-6094

MEP
 SUBSCRIPTION ENGINEERING
 yjustice@subscriptionengineering.com

NOTE: DOCUMENTS ARE
 INCOMPLETE AND MAY NOT
 BE USED FOR REGULATORY
 APPROVAL, PERMITTING, OR
 CONSTRUCTION PURPOSES.

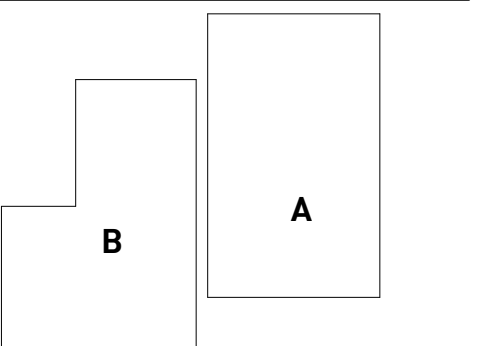
PROJECT

PARIS BUSINESS CENTER
 71 & 79 MAIN ST
 HIAWASSEE, GA 30546



CITY OF HIAWASSEE
 50 RIVER STREET
 HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

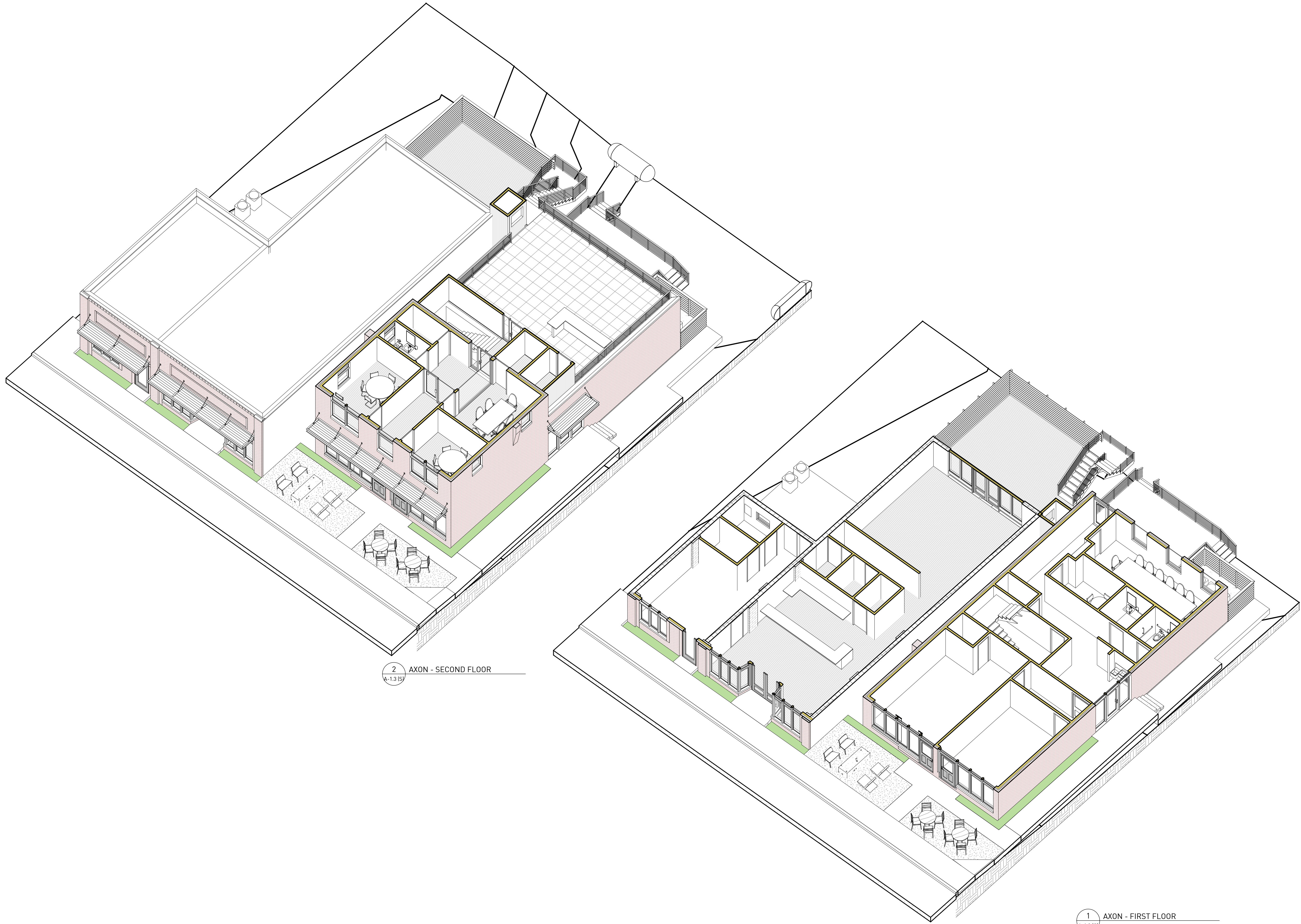
MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn		ALP
Checked		RDR

TITLE

SECTION AXONS

SHEET NUMBER

A-1.3 (S)



2 AXON - SECOND FLOOR
 A-1.3 (S)

1 AXON - FIRST FLOOR
 A-1.3 (S)



Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361

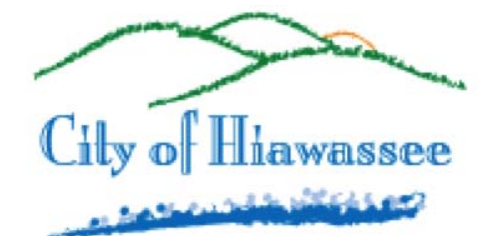
STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

MEP
SUBSCRIPTION ENGINEERING
jjustice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

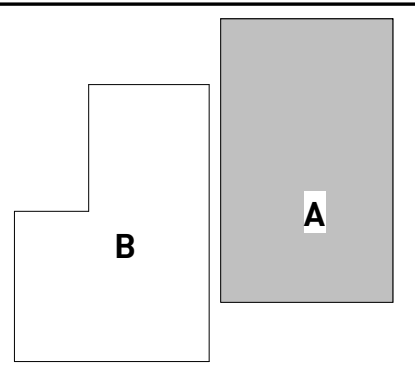
PROJECT

PARIS BUSINESS CENTER- BLDG A
71 & 79 MAIN STREET
HIWASSEE, GA 30546



CITY OF HIWASSEE
50 RIVER STREET
HIWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
1	SCHEMATIC DESIGN	10/30/2020
Job Number 100.2020.12		
Date 10/30/2020		
Drawn RDR		
Checked ALP		

TITLE

FLOOR PLAN

SHEET NUMBER

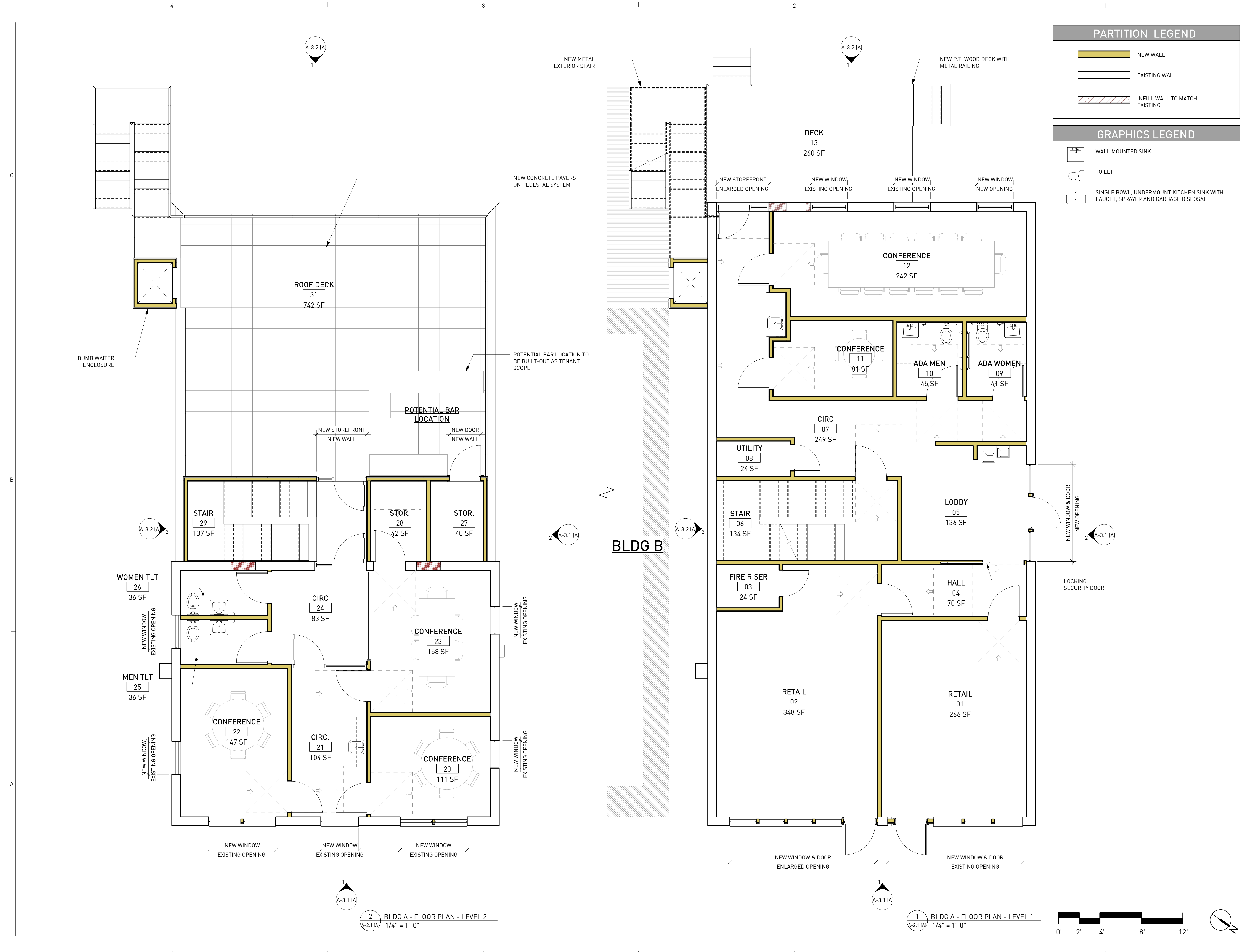
A-2.1 (A)

PARTITION LEGEND

- NEW WALL
- EXISTING WALL
- INFILL WALL TO MATCH EXISTING

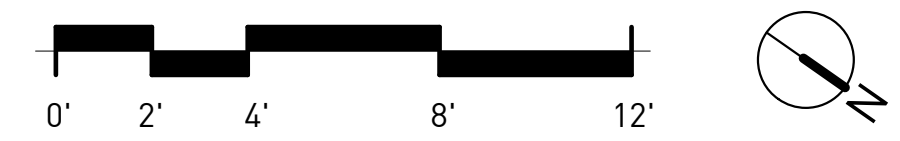
GRAPHICS LEGEND

- WALL MOUNTED SINK
- TOILET
- SINGLE BOWL, UNDERMOUNT KITCHEN SINK WITH FAUCET, SPRAYER AND GARBAGE DISPOSAL



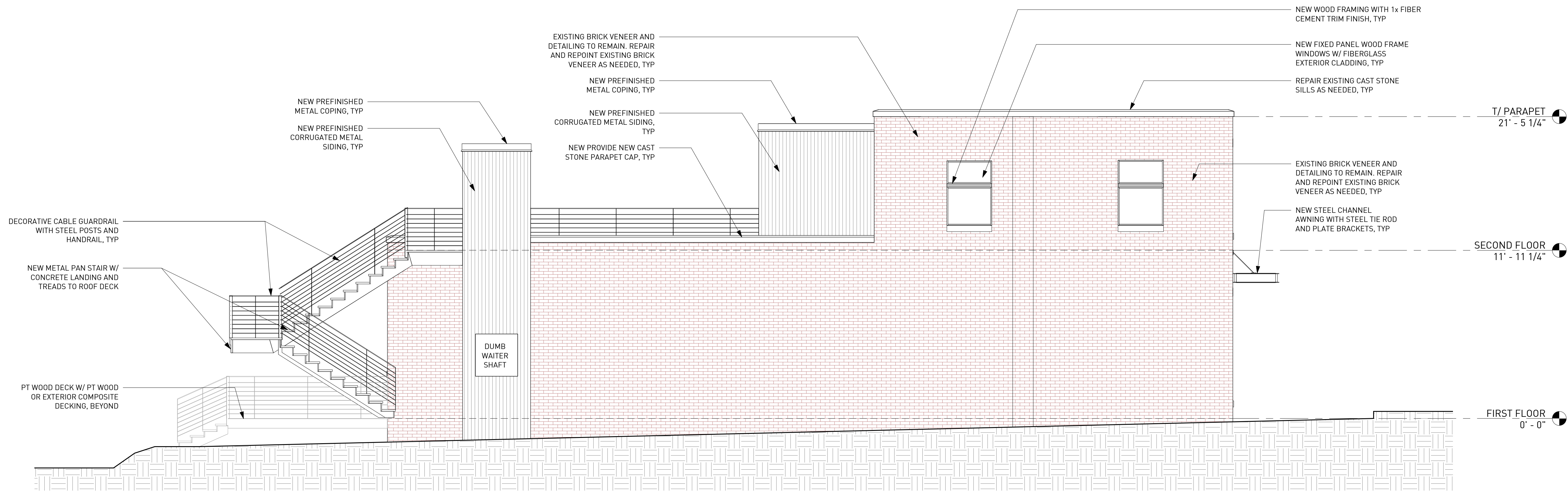
2 BLDG A - FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

1 BLDG A - FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

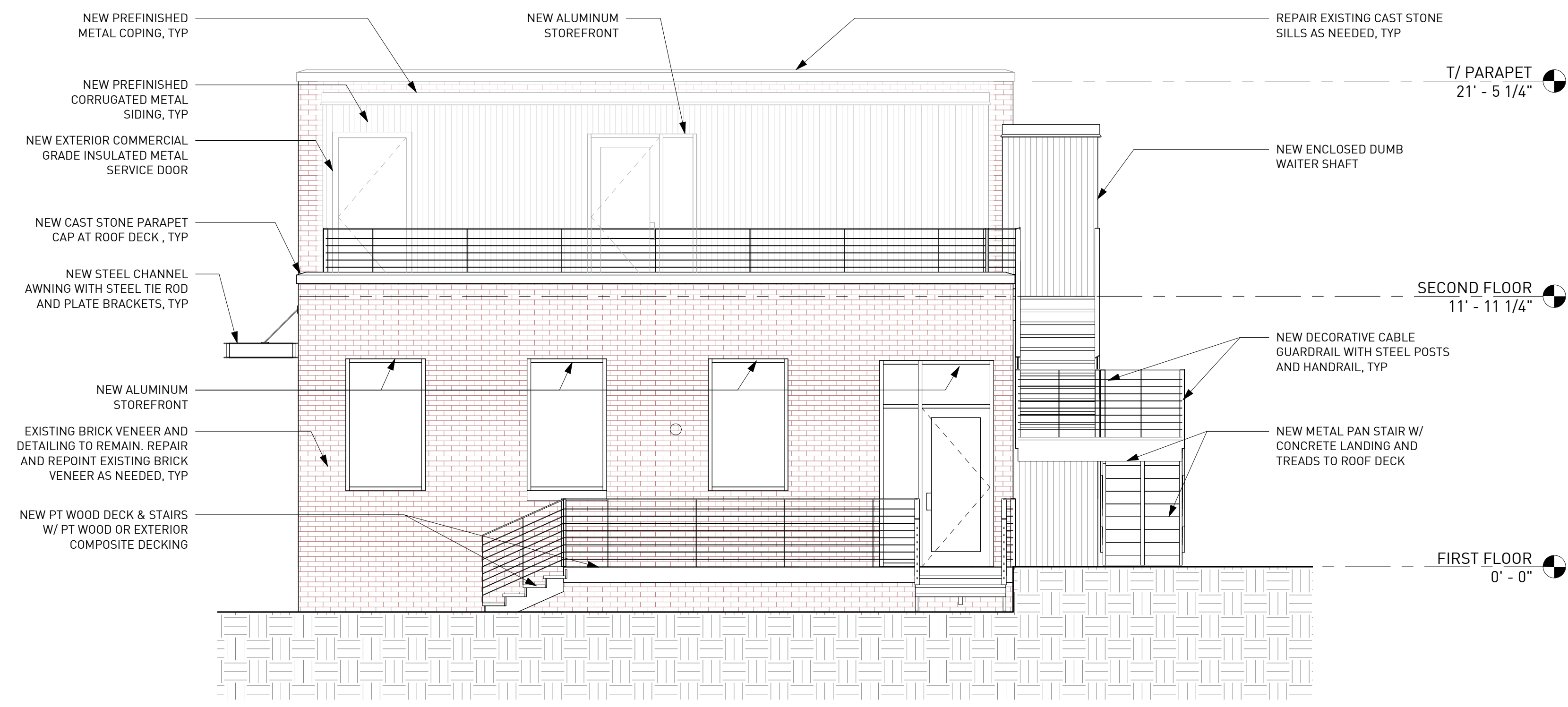


11/5/2020 12:35:26 P:\BIM 360\1100.2020.12_Paris Plaza Hiwassee\100.2020.12_79 Main Street - PARIS PLAZA - HIWASSEE - Central.rvt

1/15/2020 12:35:30 P:\BIM 560/100.2020.12_Paris Plaza Hiwassee/100.2020.12_79 Main Street - PARIS PLAZA - HIWASSEE - Central.rvt



3 SOUTH ELEVATION
A-3.2 (A) 1/4" = 1'-0"



1 WEST ELEVATION
A-3.2 (A) 1/4" = 1'-0"



Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361

STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

MEP
SUBSCRIPTION ENGINEERING
jyustice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

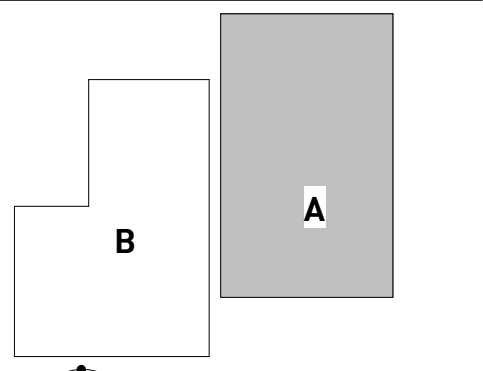
PROJECT

PARIS BUSINESS CENTER- BLDG A
71 & 79 MAIN STREET
HIWASSEE, GA 30546



CITY OF HIWASSEE
50 RIVER STREET
HIWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
1	SCHEMATIC DESIGN	10/30/2020
Job Number	100.2020.12	
Date	10/30/2020	
Drawn	RDR	
Checked	ALP	

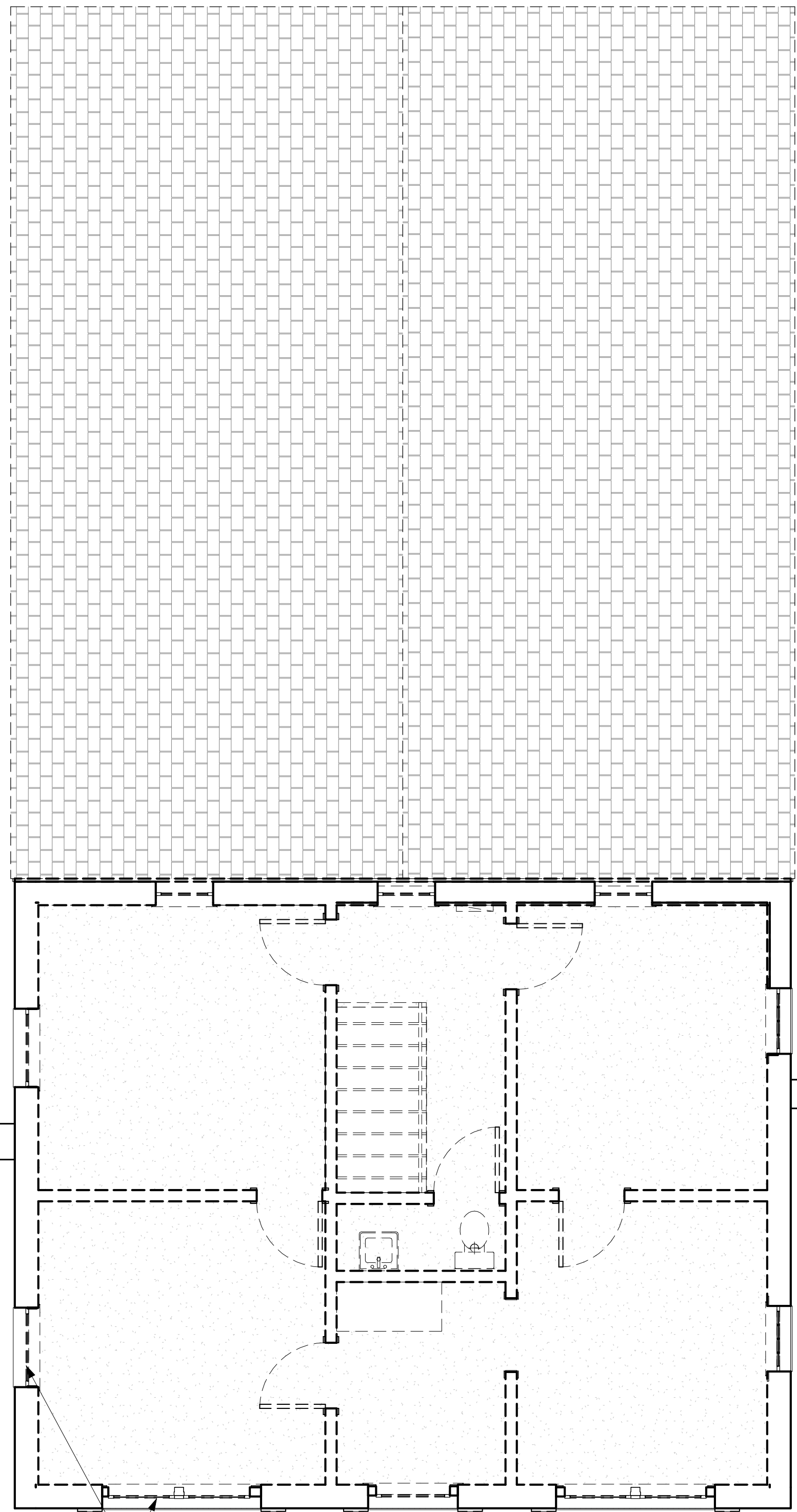
TITLE

ELEVATIONS

SHEET NUMBER

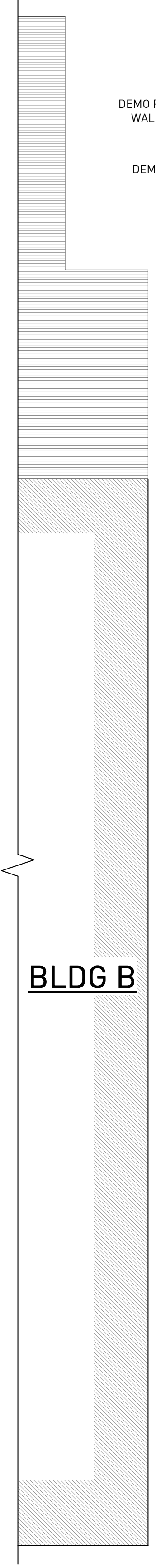
A-3.2 (A)

1/15/2020 12:35:32 PNBIM 5607/100.2020.12_Paris Plaza Hiwassee/100.2020.12_79 Main Street - PARIS PLAZA - HIAWASSEE - Central.rvt



DEMO EXISTING WINDOWS AND INFILL IN ALL OPENINGS, TYP

2 BLDG A - DEMO - FLOOR PLAN - LEVEL 2
D-2.1(A) 1/4" = 1'-0"



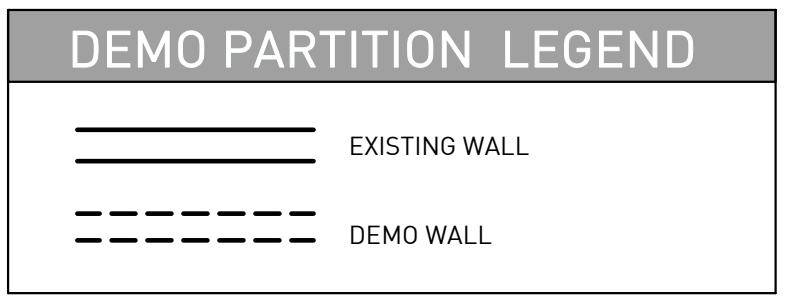
BLDG B

DEMO PORTION OF EXISTING WALL FOR ENLARGED STOREFRONT OPENING

DEMO EXISTING METAL AWNINGS

1 BLDG A - DEMO - FLOOR PLAN - LEVEL 1
D-2.1(A) 1/4" = 1'-0"

- DEMO NOTES**
- GENERAL DEMO NOTES:**
1. DEMO INTERIOR FLOOR STRUCTURE AT BOTH LEVEL 1 & LEVEL 2. SHORE AS NECESSARY - SEE STRUCTURAL.
 2. AT ALL EXTERIOR WALLS THE EXISTING FINISH WILL BE REMOVED TO EVALUATE THE EXISTING FRAMING FOR REPAIR AND BRICK VENEER REATTACHMENT - SEE STRUCTURAL FOR SHORING AND PROCESS NOTES.
 3. DEMO PITCHED ROOF AND ROOF FRAMING.
 4. DEMO ALL INTERIOR PARTITION WALLS.
 5. DEMO ALL INTERIOR DOORS.
 6. DEMO ALL INTERIOR FINISHES.
 7. DEMO ALL INTERIOR PLUMBING FIXTURES.
 8. DEMO ALL INTERIOR ELECTRICAL EQUIPMENT AND LIGHT FIXTURES.
 9. DEMO ALL INTERIOR CEILING FINISHES.
 10. DEMO ALL INTERIOR ALL HVAC DUCTS AND EQUIPMENT.



DEMO EXISTING TONGUE AND GROOVE WALL FINISH. CAREFULLY REMOVE SO THAT BOARDS CAN BE REINSTALLED, TYP

DEMO EXISTING HVAC EQUIPMENT

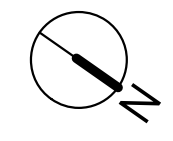
DEMO EXISTING STAIR AND RAILING

DEMO EXISTING WINDOW DISPLAY BOX

DEMO EXISTING DOOR, TRANSOM AND TRIM

DEMO EXISTING WINDOW AND INFILL IN ALL FRONT OPENINGS

DEMO EXISTING WOOD FENCE AND GATE



Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361

STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

MEP
SUBSCRIPTION ENGINEERING
yjustice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

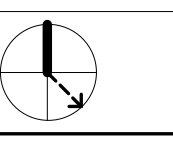
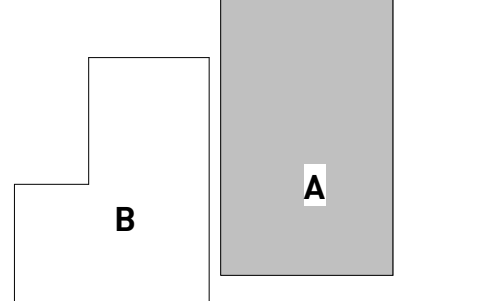
PROJECT

PARIS BUSINESS CENTER- BLDG A
71 & 79 MAIN STREET
HIAWASSEE, GA 30546



CITY OF HIAWASSEE
50 RIVER STREET
HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
1	SCHEMATIC DESIGN	10/30/2020
Job Number 100.2020.12		
Date 10/30/2020		
Drawn RDR		
Checked ALP		

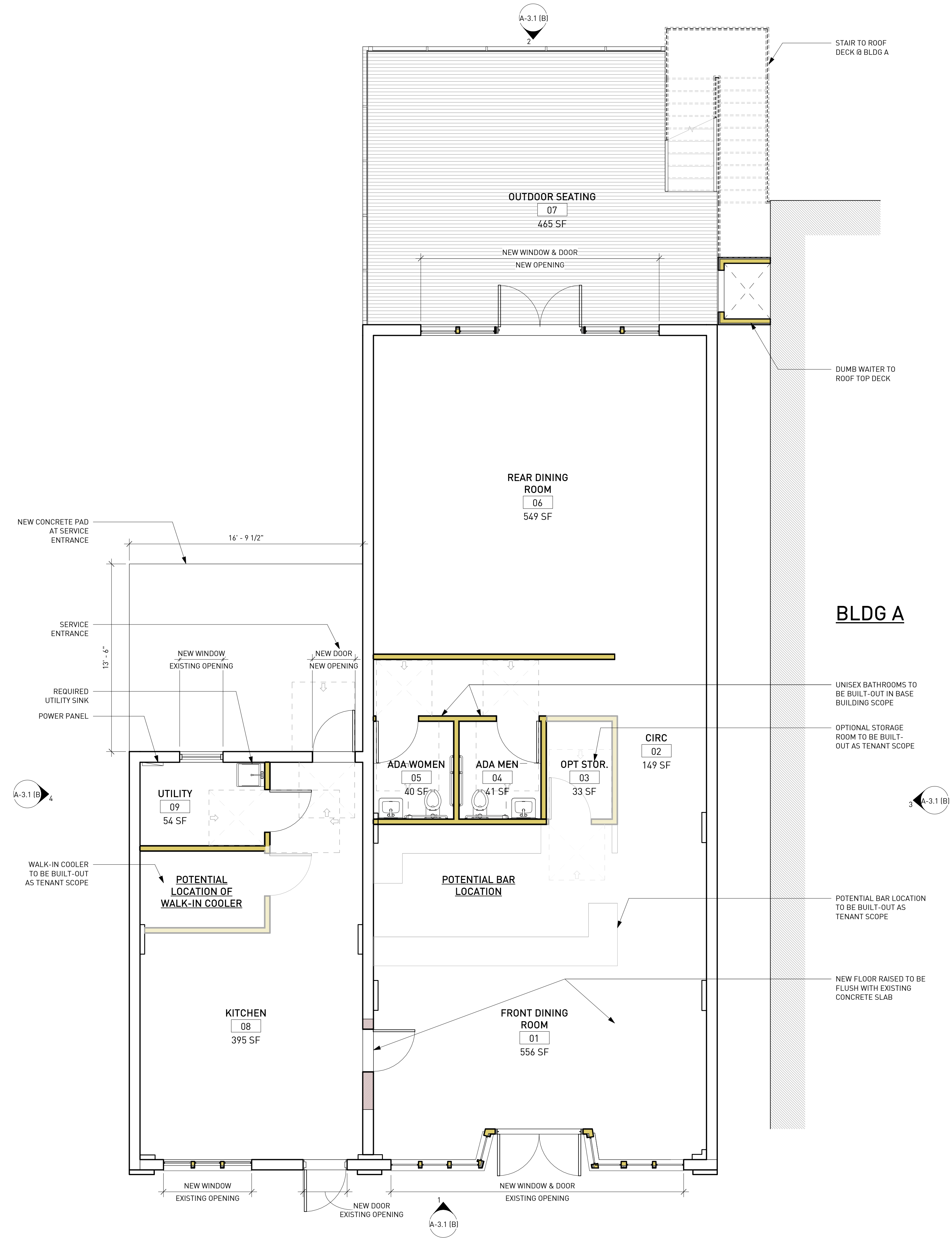
TITLE

DEMO FLOOR PLAN

SHEET NUMBER

D-2.1 (A)

11/5/2020 12:33:50 P:\BIM 360\1100_2020_12_Paris Plaza Hiwassee\100_2020_12_171 Main Street - PARIS PLAZA - HIWASSEE_Central.rvt



PARTITION LEGEND	
	NEW WALL
	EXISTING WALL
	INFILL WALL TO MATCH EXISTING

GRAPHICS LEGEND	
	WALL MOUNTED SINK
	TOILET
	SINGLE BOWL, UNDERMOUNT KITCHEN SINK WITH FAUCET, SPRAYER AND GARBAGE DISPOSAL

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.



Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CONSULTANTS
CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361

STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

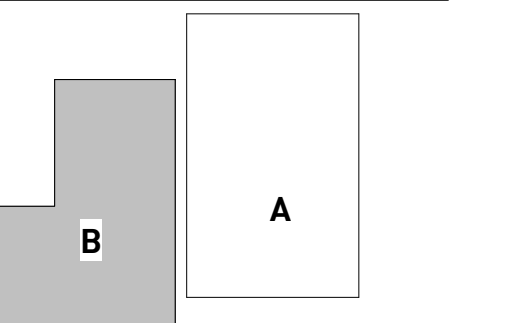
MEP
SUBSCRIPTION ENGINEERING
jjustice@subscriptionengineering.com

PROJECT

PARIS BUSINESS CENTER - BLDG B
71 & 79 MAIN ST
HIWASSEE, GA 30546



CITY OF HIWASSEE
50 RIVER STREET
HIWASSEE, GA 30546



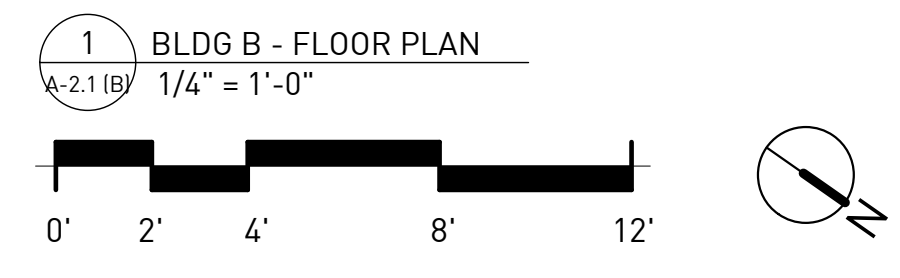
ISSUE CHART

MARK	ISSUE	DATE
1	SCHEMATIC DESIGN	10/30/2020
Job Number 100.2020.12		
Date 10/30/2020		
Drawn RDR		
Checked ALP		

FLOOR PLAN

SHEET NUMBER

A-2.1 (B)





Source Urbanism, LLC
P.O. Box 1154,
Stone Mountain, Georgia 30086
T. 770 330 8325
audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
FLIPPO CIVIL DESIGN
400 Colony Square Atlanta, GA 30361

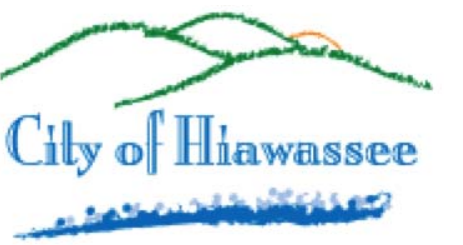
STRUCTURAL
STABILITY ENGINEERING
431 W PONCE DE LEON AVE, SUITE 4
DECATUR, GA 30030
(678)895-6094

MEP
SUBSCRIPTION ENGINEERING
jjustice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

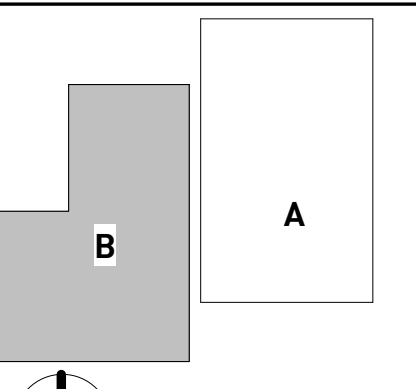
PROJECT

PARIS BUSINESS CENTER - BLDG B
71 & 79 MAIN ST
HIAWASSEE, GA 30546



CITY OF HIAWASSEE
50 RIVER STREET
HIAWASSEE, GA 30546

KEYPLAN



ISSUE CHART

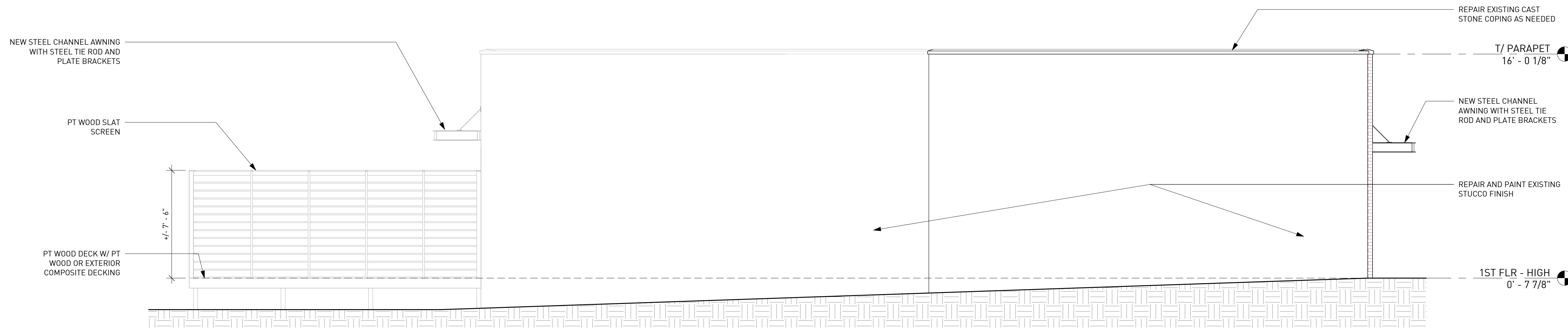
MARK	ISSUE	DATE
1	SCHEMATIC DESIGN	10/30/2020
Job Number 100.2020.12		
Date 10/30/2020		
Drawn RDR		
Checked ALP		

TITLE

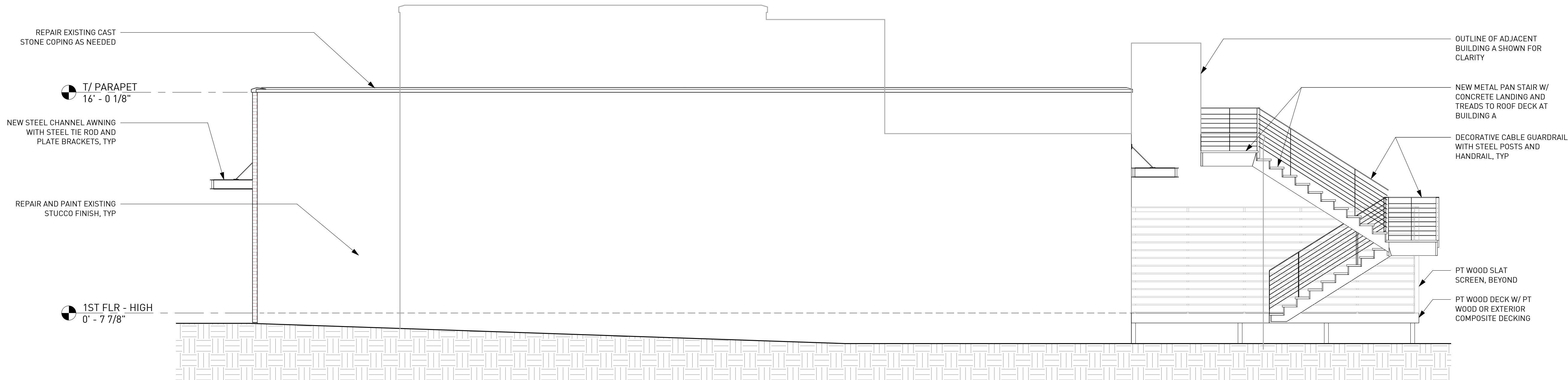
ELEVATIONS

SHEET NUMBER

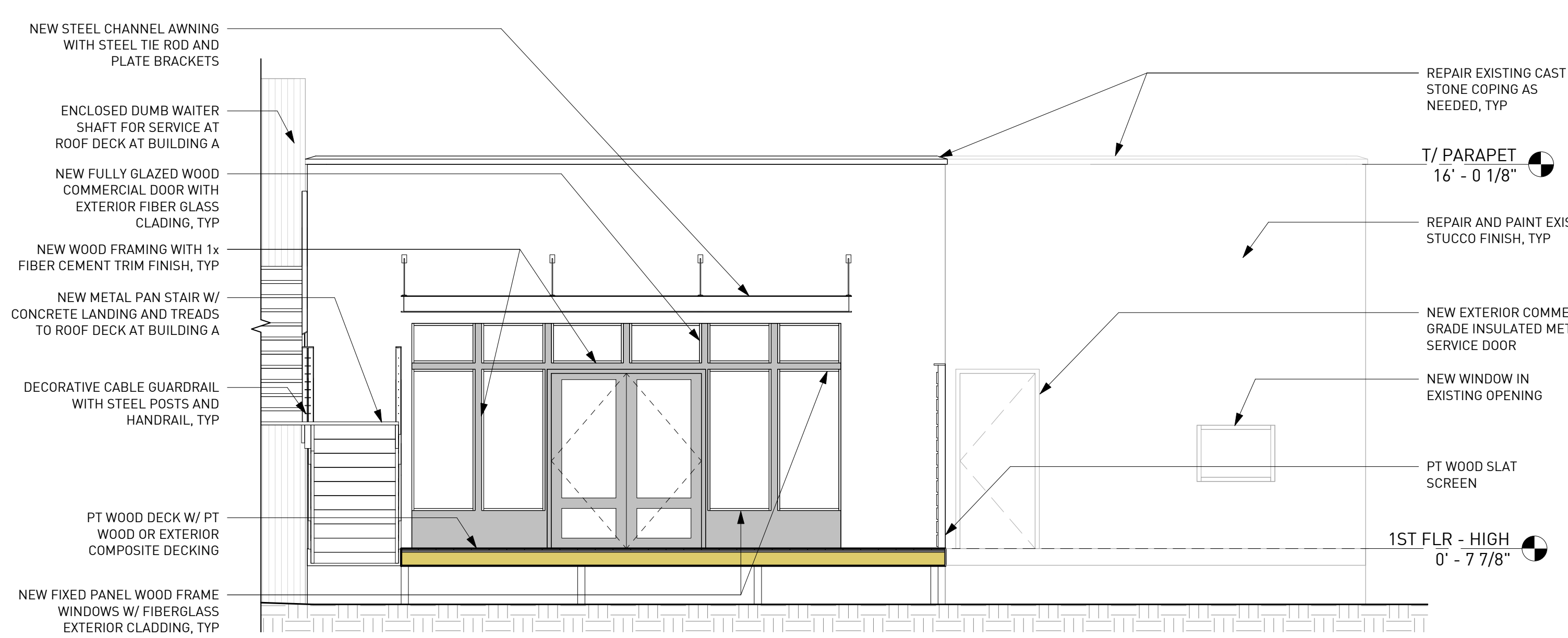
A-3.1 (B)



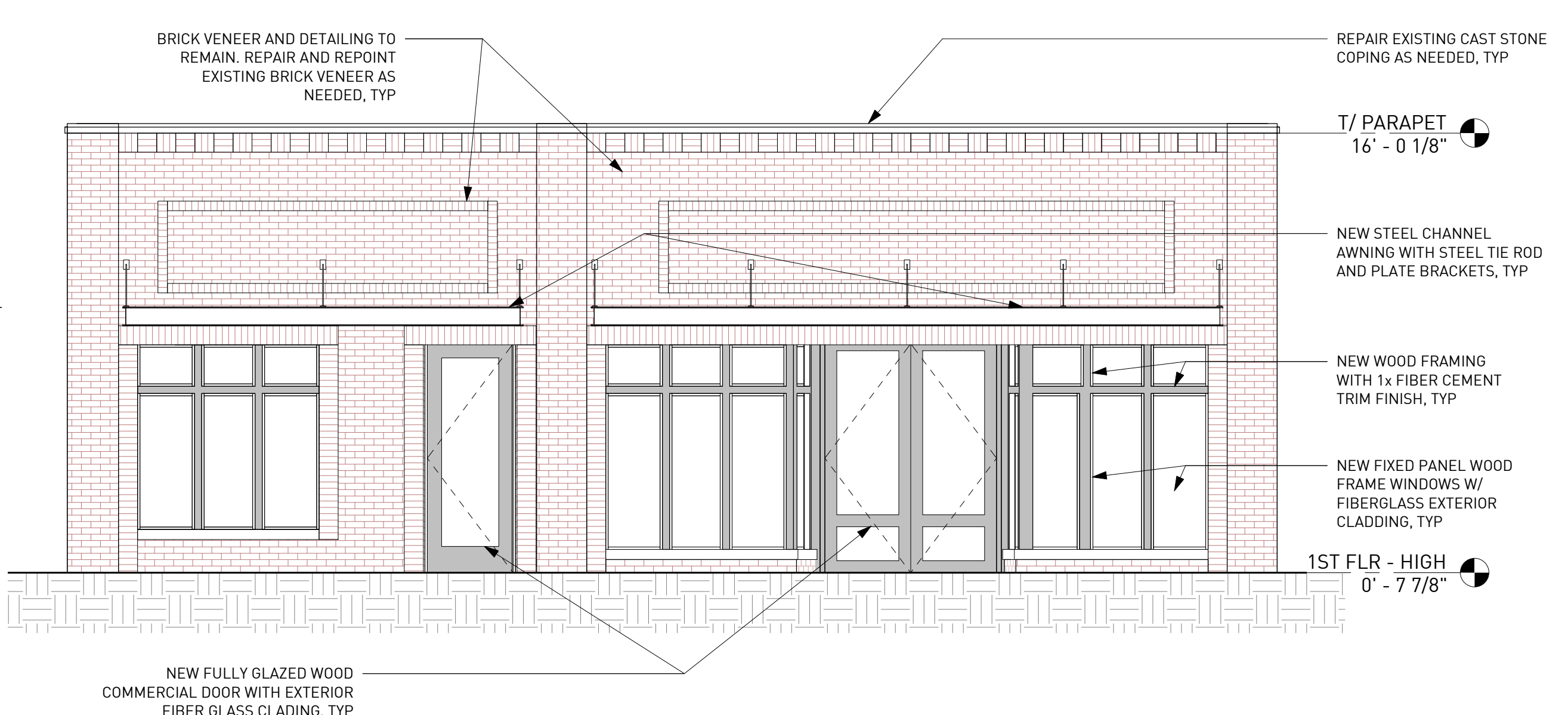
4 SOUTH ELEVATION
A-3.1 (B) 1/4" = 1'-0"



3 NORTH ELEVATION
A-3.1 (B) 1/4" = 1'-0"



2 WEST ELEVATION
A-3.1 (B) 1/4" = 1'-0"



1 EAST ELEVATION
A-3.1 (B) 1/4" = 1'-0"

T:\52020 12:33:53 P:\BIM 5607\100.2020.12_Paris Plaza Hiawassee\100_2020.12_71 Main Street - PARIS PLAZA - HIAWASSEE_Central.rvt

11/5/2020 12:33:54 P:\BIM 360/100.2020.12_Paris Plaza Hiwassee/100.2020.12_71 Main Street - PARIS PLAZA - HIWASSEE Central.rvt

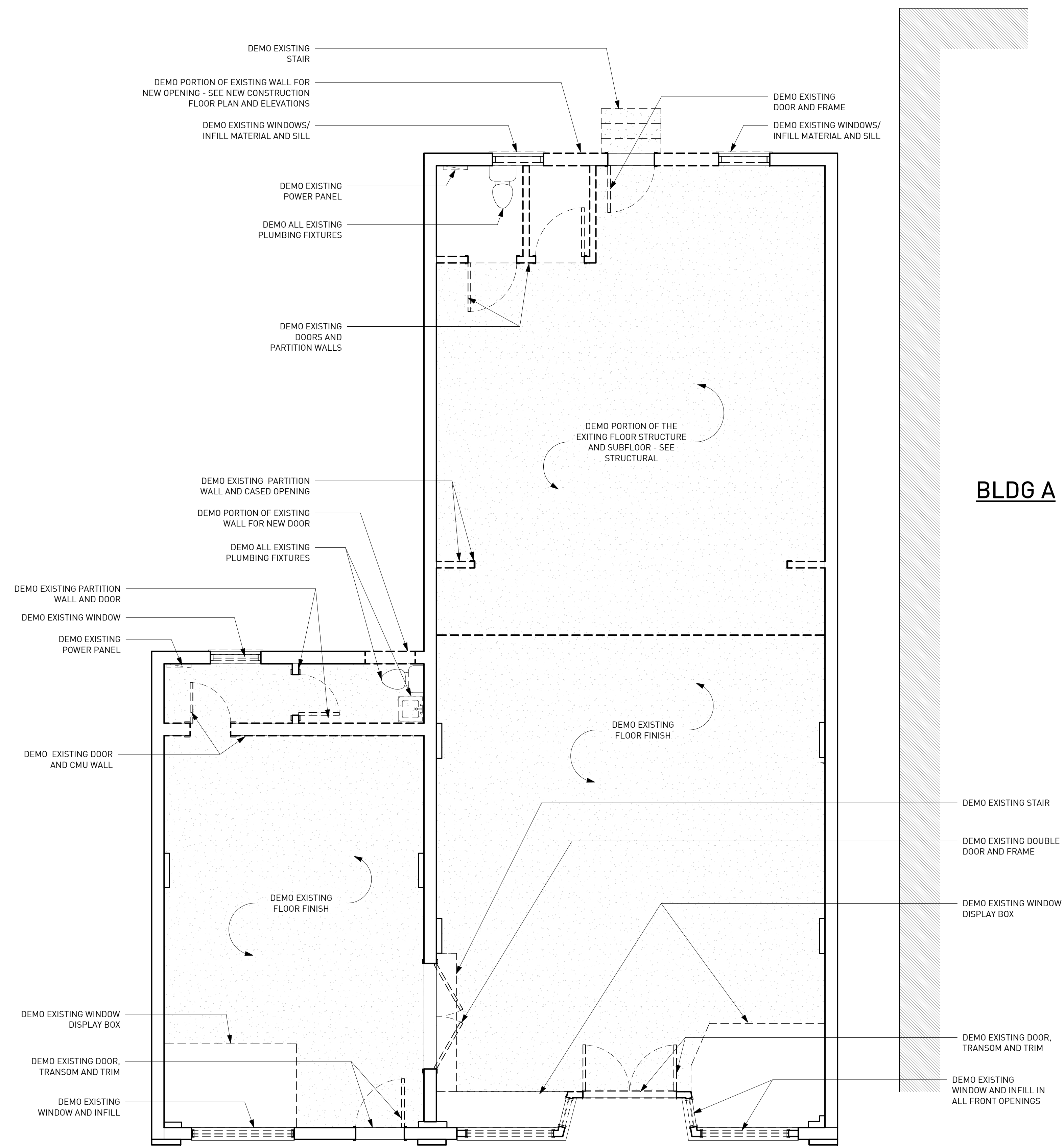
DEMO NOTES

GENERAL DEMO NOTES:

1. DEMO PITCHED ROOF AND PITCHED ROOF FRAMING. ORIGINAL FLAT ROOF TO REMAIN - SEE STRUCTURAL.
2. DEMO ALL INTERIOR DOORS.
3. DEMO ALL INTERIOR FINISHES.
4. DEMO ALL INTERIOR PLUMBING FIXTURES.
5. DEMO ALL INTERIOR ELECTRICAL EQUIPMENT AND LIGHT FIXTURES.
6. DEMO ALL INTERIOR CEILING FINISHES.
7. DEMO ALL INTERIOR ALL HVAC DUCTS AND EQUIPMENT.

DEMO PARTITION LEGEND

— EXISTING WALL
 - - - DEMO WALL



SOURCE URBANISM

Source Urbanism, LLC
 P.O. Box 1154,
 Stone Mountain, Georgia 30086
 T. 770 330 8325
 audrey.plummer@sourceurbanism.com

CONSULTANTS

CIVIL
FLIPPO CIVIL DESIGN
 400 Colony Square Atlanta, GA 30361

STRUCTURAL
STABILITY ENGINEERING
 431 W PONCE DE LEON AVE, SUITE 4
 DECATUR, GA 30030
 (678)895-6094

MEP
SUBSCRIPTION ENGINEERING
 justice@subscriptionengineering.com

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

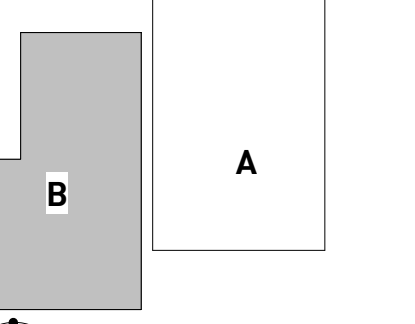
PROJECT

PARIS BUSINESS CENTER - BLDG B
 71 & 79 MAIN ST
 HIWASSEE, GA 30546



CITY OF HIWASSEE
 50 RIVER STREET
 HIWASSEE, GA 30546

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
Job Number		100.2020.12
Date		10/30/2020
Drawn		RDR
Checked		ALP

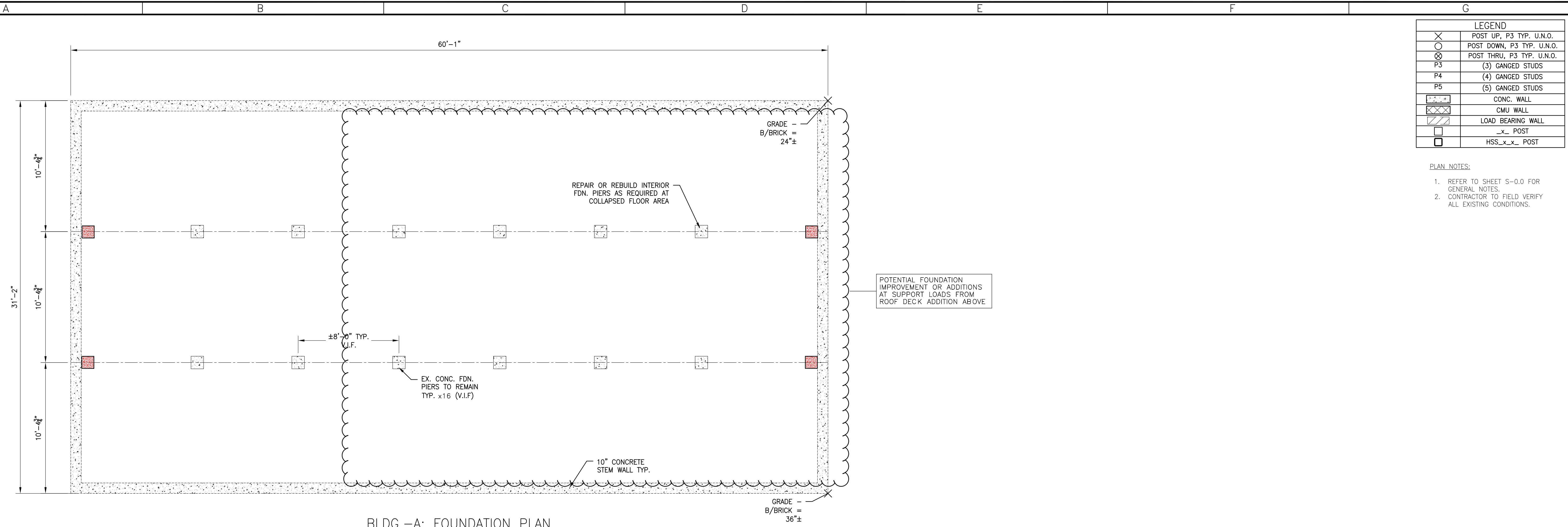
TITLE

DEMO FLOOR PLAN

SHEET NUMBER

D-2.1 (B)

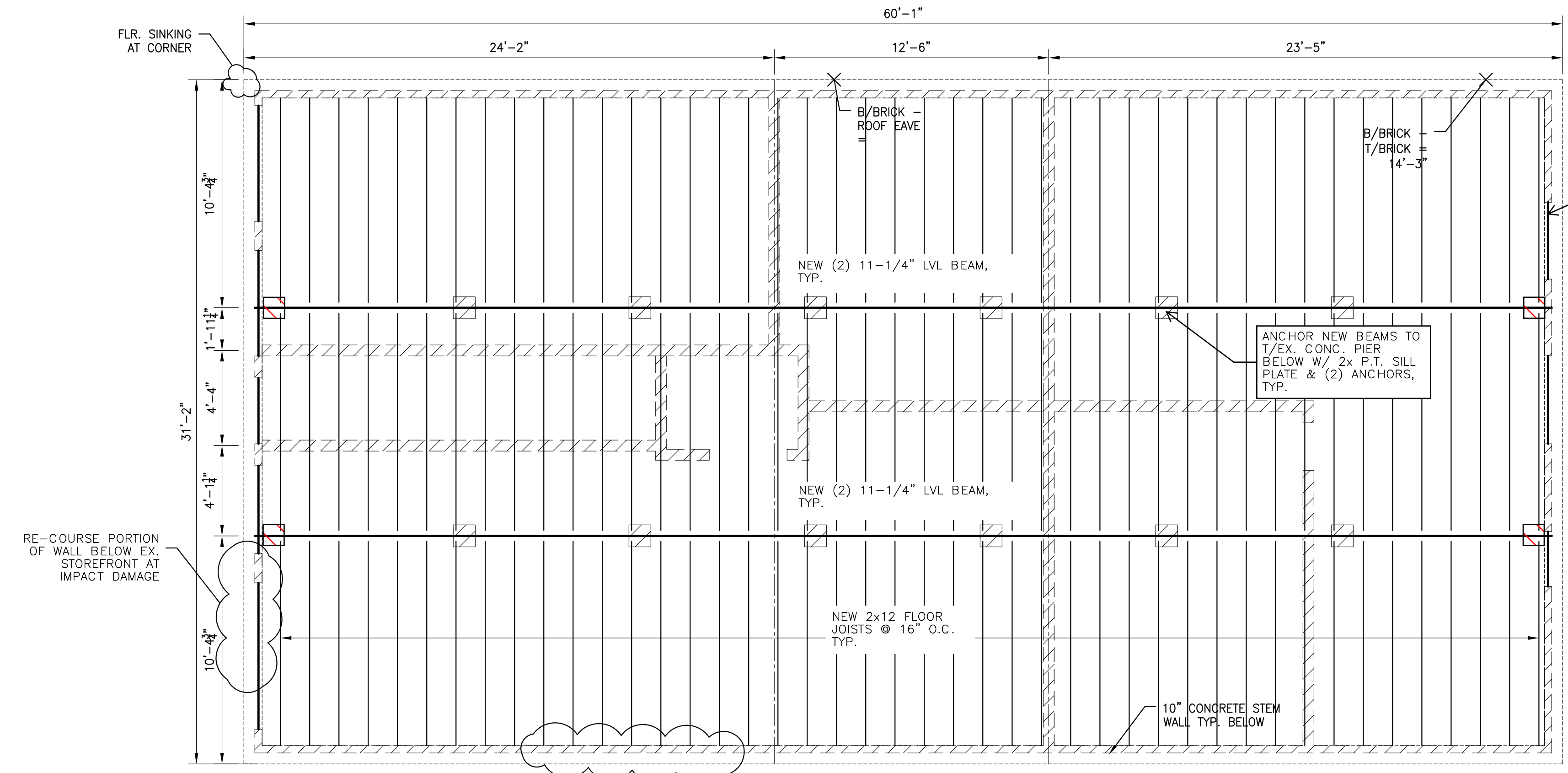
Copyright © 2020 SOURCE URBANISM



BLDG.-A: FOUNDATION PLAN
SCALE: 1/4"=1'-0"

LEGEND	
⊗	POST UP, P3 TYP. U.N.O.
⊙	POST DOWN, P3 TYP. U.N.O.
⊗	POST THRU, P3 TYP. U.N.O.
P3	(3) GANGED STUDS
P4	(4) GANGED STUDS
P5	(5) GANGED STUDS
▨	CONC. WALL
▧	CMU WALL
▩	LOAD BEARING WALL
□	x POST
□	HSS_x_x POST

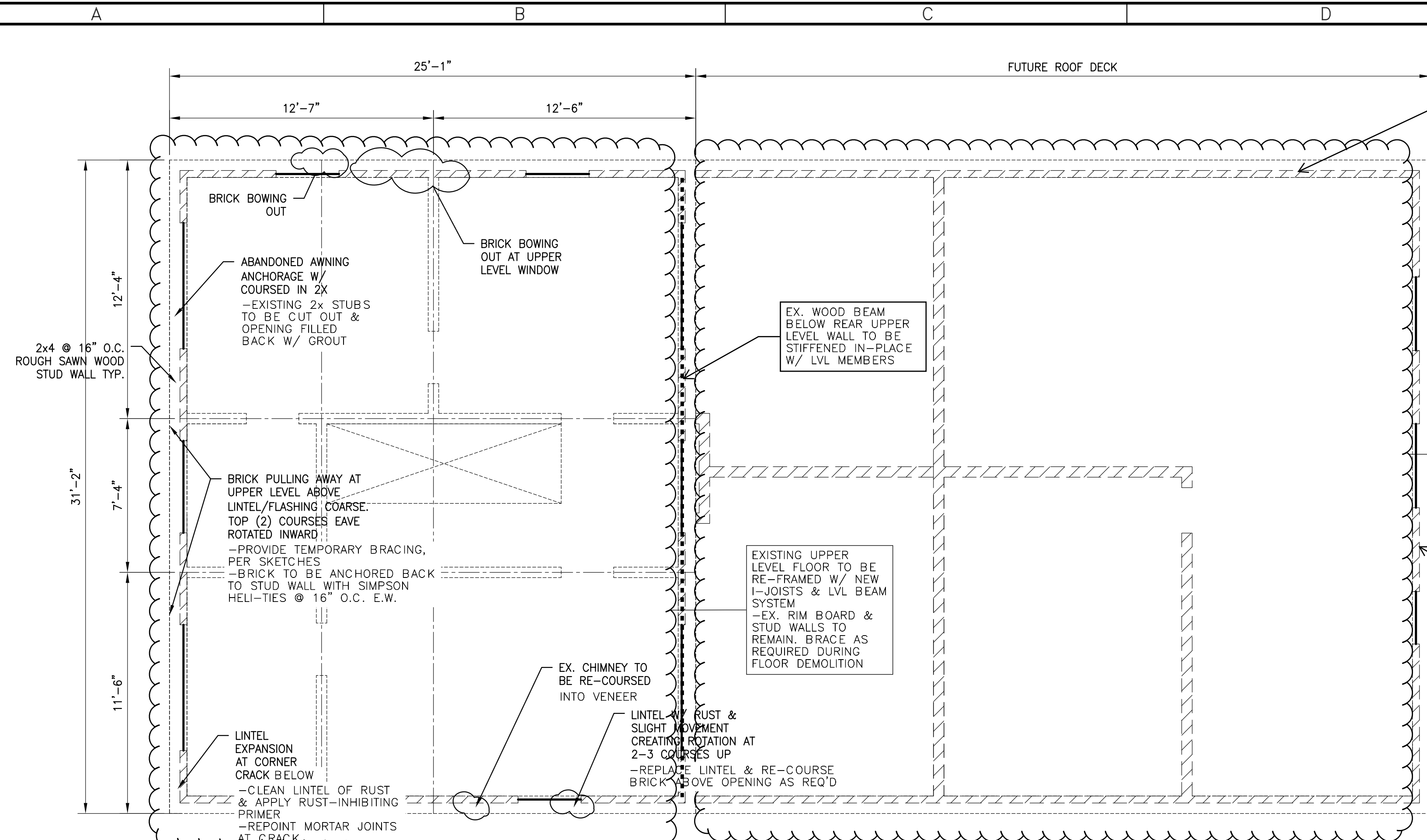
- PLAN NOTES:
- REFER TO SHEET S-0.0 FOR GENERAL NOTES.
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.



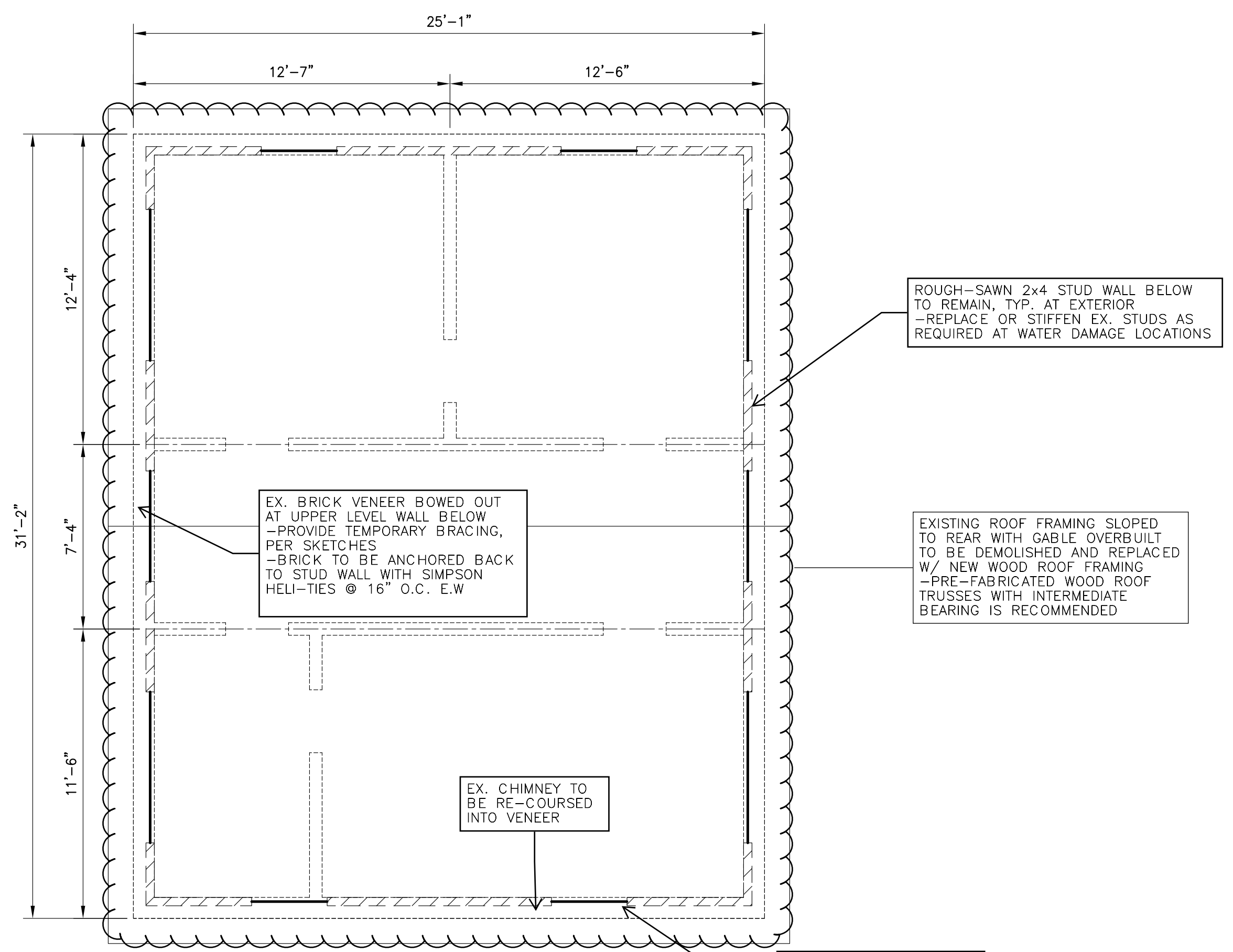
BLDG.-A: 1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

REV	DESCRIPTION	DRWN	APPR	DATE	REV	DESCRIPTION	DRWN	APPR	DATE

MAIN STREET HIAWASSEE	
BUILDING A FOUNDATION PLAN GROUND FLOOR FRAMING PLAN	SCALE: NOTED DATE: 09/28/2020 DRWN BY: MSM CHKD BY: CM
S^e STABILITY ENGINEERING	SE NUMBER: S-1.0 SE FILE NAME: Se#20428 SHT 02 OF 06
1376 Church St. Ste 200, Decatur, GA 30030 PH: 404-377-9316	



BLDG.-A: UPPER FLR. AND LOW ROOF PLAN
SCALE: 1/4"=1'-0"



BLDG.-A: ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

LEGEND	
⊗	POST UP, P3 TYP. U.N.O.
⊙	POST DOWN, P3 TYP. U.N.O.
⊗	POST THRU, P3 TYP. U.N.O.
P3	(3) GANGED STUDS
P4	(4) GANGED STUDS
P5	(5) GANGED STUDS
▨	CONC. WALL
▩	CMU WALL
▧	LOAD BEARING WALL
□	_x_ POST
□	HSS_x_x_ POST

REV	DESCRIPTION	DRWN	APPR	DATE	REV	DESCRIPTION	DRWN	APPR	DATE

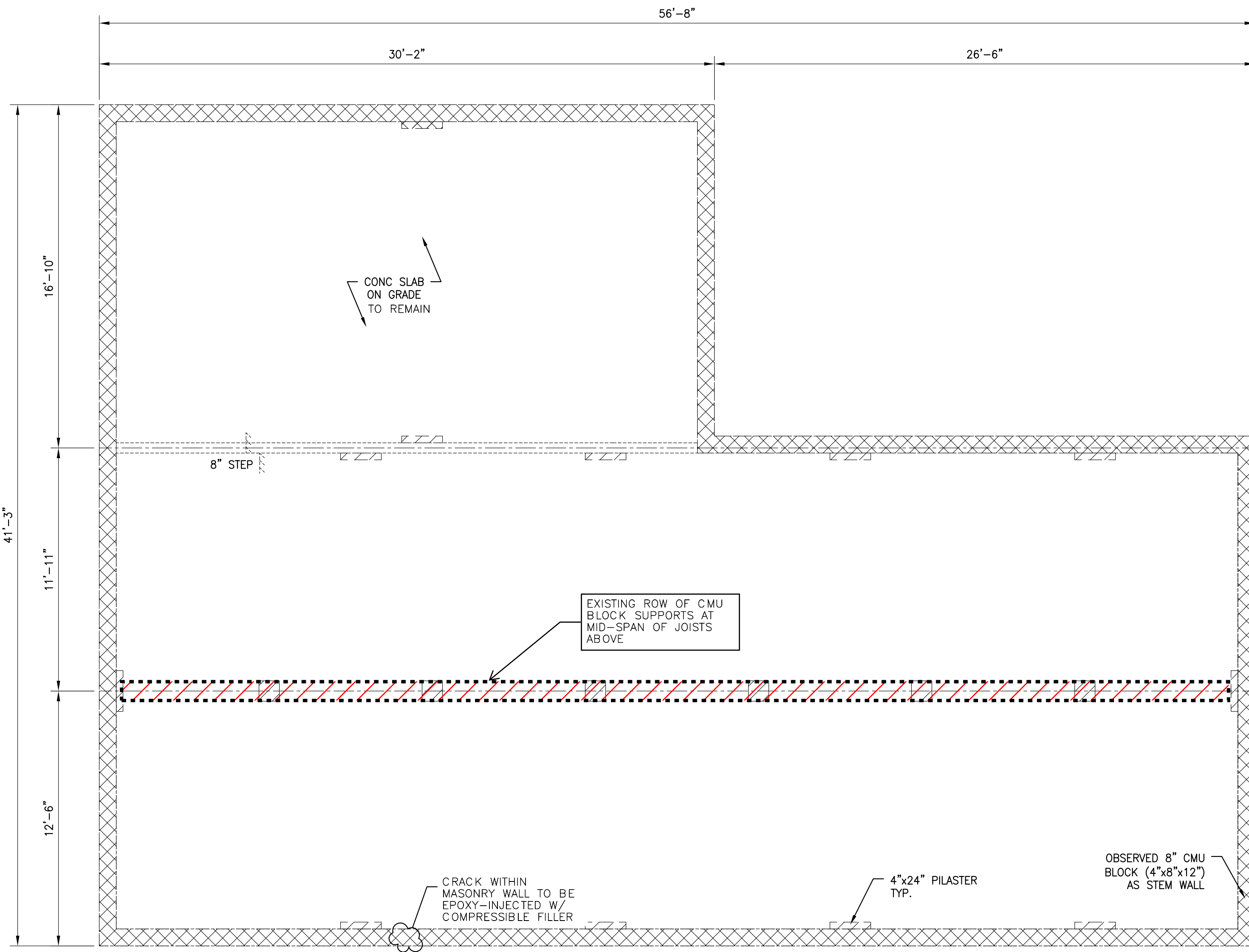
MAIN STREET HIWASEE
BUILDING A
UPPER FLOOR FRAMING PLAN
ROOF FRAMING PLAN

SCALE: NOTED
 DATE: 09/28/2020
 DRWN BY: MSM
 CHKD BY: CM

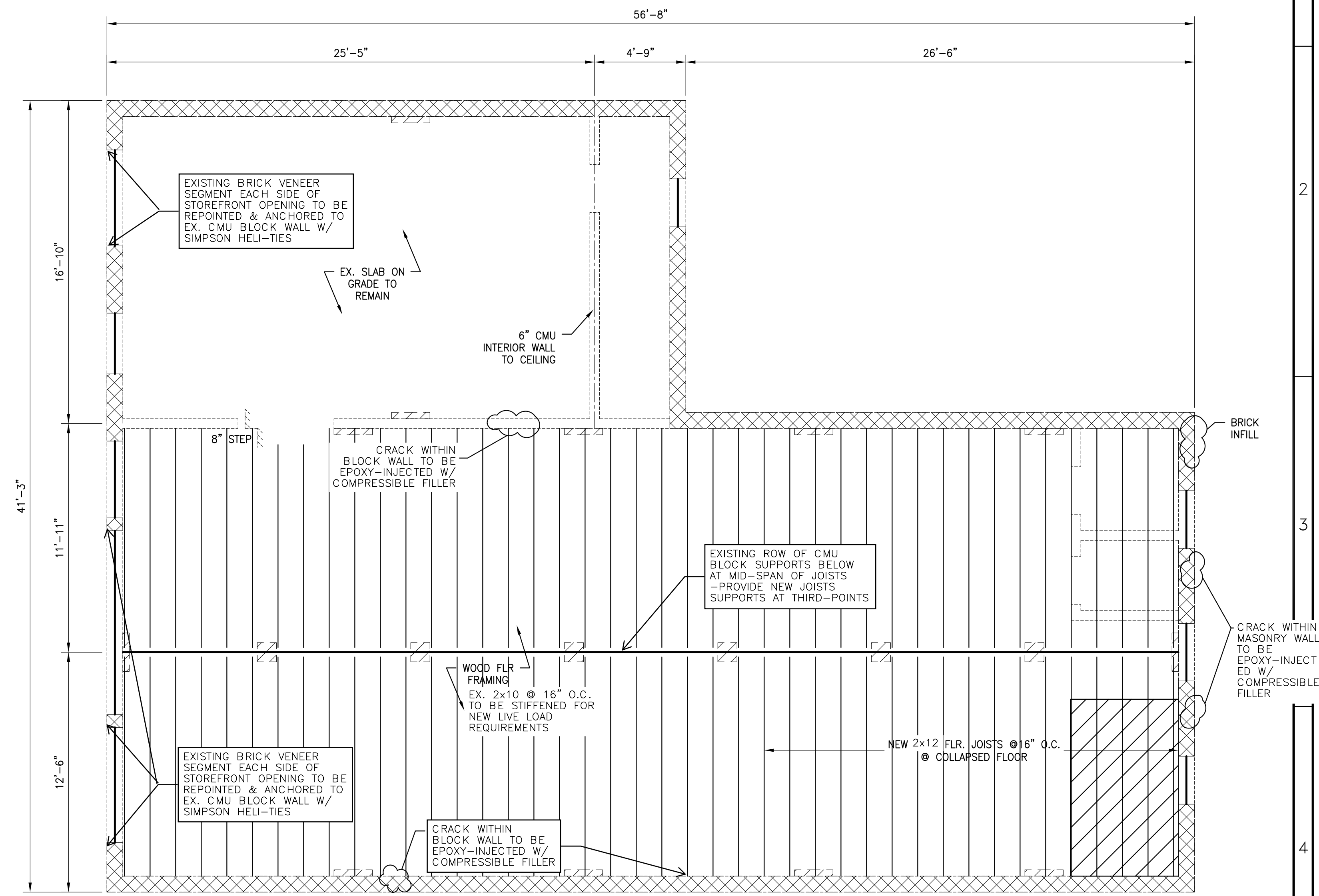
SE NUMBER: S-1.1
 SE FILE NAME: Se#20428
 SHEET: 03 OF 06

Stability ENGINEERING
 1376 Church St. Ste 200, Decatur, GA 30030
 PH: 404-377-9316

LEGEND	
⊗	POST UP, P3 TYP. U.N.O.
○	POST DOWN, P3 TYP. U.N.O.
⊗	POST THRU, P3 TYP. U.N.O.
P3	(3) GANGED STUDS
P4	(4) GANGED STUDS
P5	(5) GANGED STUDS
[Hatched Box]	CONC. WALL
[Cross-hatched Box]	CMU WALL
[Diagonal Hatched Box]	LOAD BEARING WALL
[Square]	_x_ POST
[Square]	HSS_x_x_ POST



BLDG.-B: FOUNDATION PLAN
SCALE: 1/4"=1'-0"



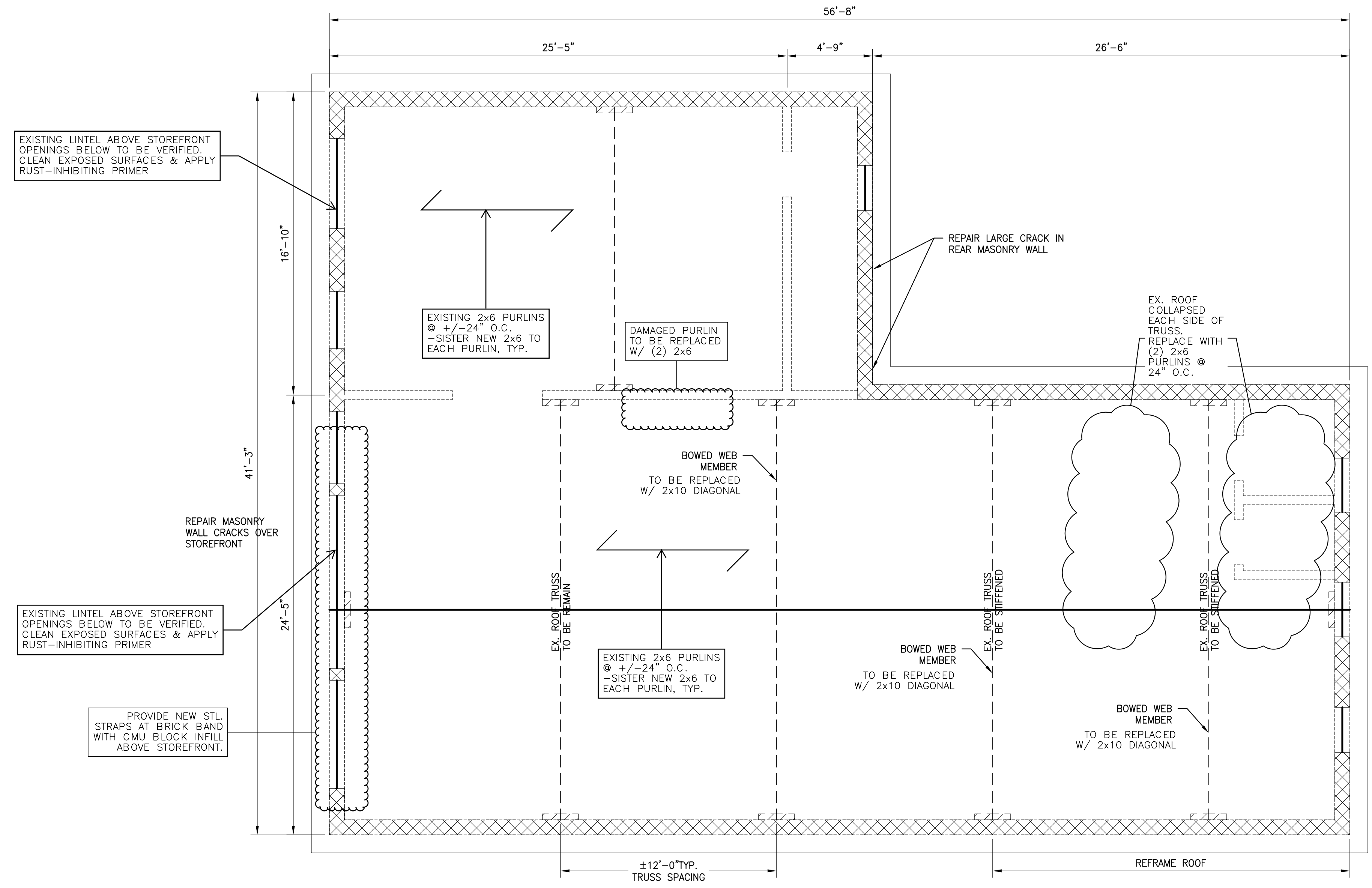
BLDG.-B: 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

MAIN STREET HIWASSEE	
BUILDING B	
FOUNDATION PLAN	
GROUND FLOOR FRAMING PLAN	
SCALE: NOTED	DATE: 09/28/2020
DRWN BY: MSM	CHKD BY: CM
SE NUMBER: S-2.0	SH# 04
SE FILE NAME: Se#20428	OF 06

REV	DESCRIPTION	DRWN	APPR	DATE	REV	DESCRIPTION	DRWN	APPR	DATE

Stability Engineering
1376 Church St. Ste 200, Decatur, GA 30030 PH: 404-377-9316

LEGEND	
⊗	POST UP, P3 TYP. U.N.O.
○	POST DOWN, P3 TYP. U.N.O.
⊗	POST THRU, P3 TYP. U.N.O.
P3	(3) GANGED STUDS
P4	(4) GANGED STUDS
P5	(5) GANGED STUDS
[Pattern]	CONC. WALL
[Pattern]	CMU WALL
[Pattern]	LOAD BEARING WALL
[Symbol]	_x_ POST
[Symbol]	HSS_x_x_ POST



BLDG.-B: ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

REV	DESCRIPTION	DRWN	APPR	DATE	REV	DESCRIPTION	DRWN	APPR	DATE

MAIN STREET HIWASEE	
BUILDING B	
FOUNDATION PLAN	
SCALE: NOTED	DATE: 09/28/2020
DRWN BY: MSM	CHKD BY: CM
SE NUMBER: S-2.1	SE FILE NAME: Se#20428
S ^e STABILITY ENGINEERING	1376 Church St. Ste 200, Decatur, GA 30030 PH: 404-377-9316